



SPINKLER INSTALLATION, CLOSE-HIPP 3RD AND 5TH FLOORS

**1705 COLLEGE ST.,
COLUMBIA SC 29201
PROJECT # H27-Z387 50003342-3**

**BID DOCUMENTS
02/10/20
2202-193400**



ARCHITECT:
LS3P ASSOCIATES LTD.
701-A LADY STREET
COLUMBIA, SC 29201
P: 803-765-2418



MECHANICAL - PLUMBING - FIRE PROTECTION:

MECHANICAL DESIGN, INC.
4403 BROAD RIVER ROAD,
COLUMBIA SC 29210
P: 803-731-9834

SPINKLER INSTALLATION, CLOSE-HIPP

3RD AND 5TH FLOORS

1705 COLLEGE ST., COLUMBIA SC 29201

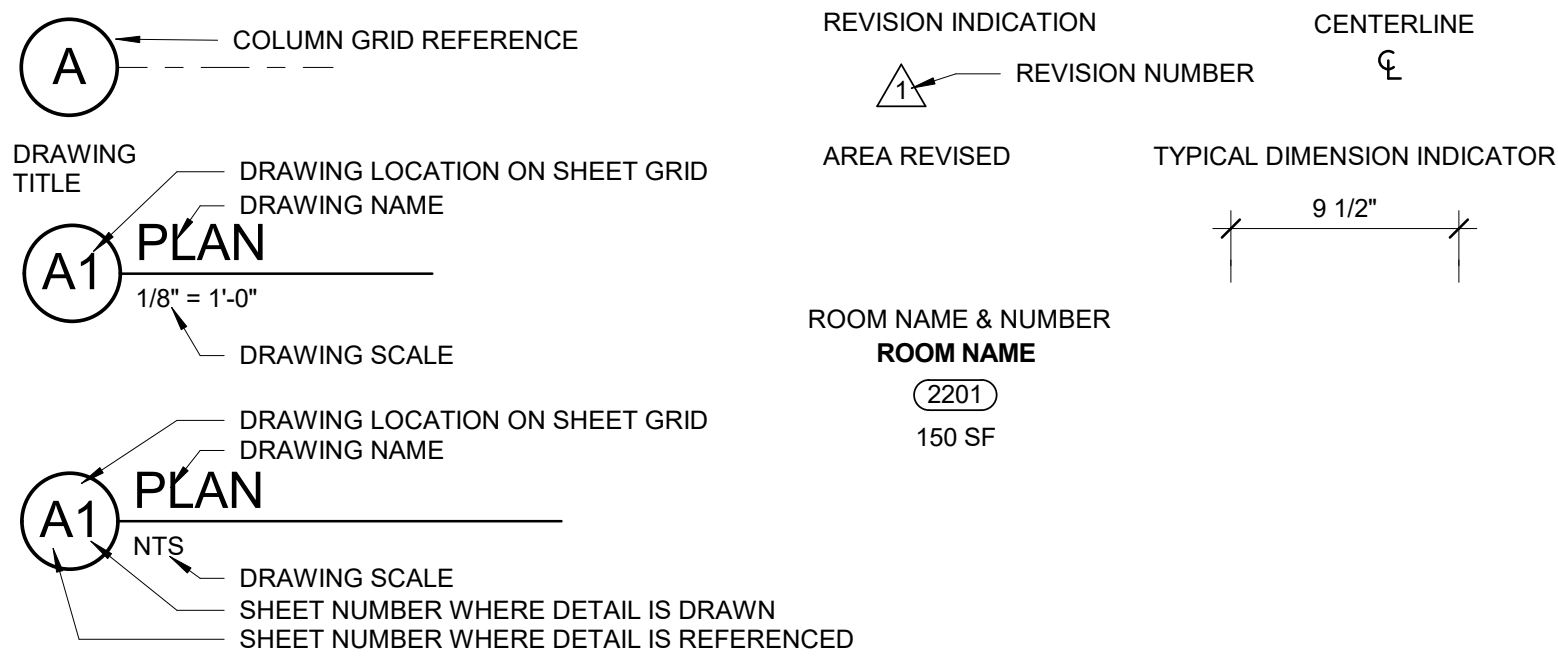
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SPINKLER
INSTALLATION,
CLOSE-HIPP
3RD AND 5TH
FLOORS

H27-Z387
50003342-3

GRAPHIC SYMBOL LEGEND



ABBREVIATIONS

A/C	AIR CONDITIONING	GC	GENERAL CONTRACTOR	S	SOUTH
ADMIN	ADMINISTRATION	GYP BD	GYPSUM BOARD	SC	SOLID CORE
AFF	ABOVE FINISHED FLOOR	GYP PLAS	GYPSUM PLASTER	SD	STORM DRAIN
AHJ	AUTHORITY HAVING JURISDICTION	HC	HANDICAP	SECT	SECTION
ALT	ALTERNATE	HD	HEAVY DUTY	SF	SQUARE FEET
ALUM	ALUMINUM	HDWD	HARDWOOD	SIM	SIMILAR
APPROX	APPROXIMATELY	HDWR	HARDWARE	SPEC	SPECIFICATION
ARCH	ARCHITECTURAL	HM	HOLLOW METAL	SPKR	SPEAKER
AUTO	AUTOMATIC	HORIZ	HORIZONTAL	SQ	SQUARE
AUX	AUXILIARY	HT	HEIGHT	SS	STAINLESS STEEL
AV	AUDIOVISUAL	HVAC	HEATING, VENTILATION & AIR CONDITIONING	STD	STANDARD
BLDG	BUILDING	ID	INSIDE DIAMETER	STOR	STORAGE
BOS	BOTTOM OF STEEL	INCL	INCLUDE(D), (ING)	SUSP	SUSPENDED
BOT	BOTTOM	INFO	INFORMATION	SYS	SYSTEM
CAB	CABINET	INSUL	INSULATION	T	TREAD
CJ	CORNER JOINT	INT	INTERIOR	TEL	TELEPHONE
CG	CORNER GUARD	JAN CLO	JANITOR CLOSET	TEMP	TEMPORARY
CL	CENTER LINE	KIT	KITCHEN	TFF	TOP OF FINISH FLOOR
CLG	CEILING	KO	KNOCKOUT	THK	THICKNESS
CLG HT	CEILING HEIGHT	LAB	LABORATORY	THRU	THROUGH
CLO	CLOSET	LAM	LAMINATE	TO	TOP OF
CLR	CLEARANCE	LAU	LAUNDRY	TOB	TOP OF BEAM
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	TOC	TOP OF CONCRETE, CURB
COL	COLUMN	LF	LINEAR FEET	TOF	TOP OF FOOTING
CONC	CONCRETE	LVR	LOUVER	TOJ	TOP OF JOIST
CONF	CONFERENCE	MAINT	MAINTENANCE	TOM	TOP OF MASONRY
CONT	CONTINUOUS	MATL	MATERIAL	TOP	TOP OF PARAPET
CORR	CORRIDOR	MAX	MAXIMUM	TOS	TOP OF SLAB
CU FT	CUBIC FOOT	MECH	MECHANICAL	TOW	TOP OF WALL
CU YD	CUBIC YARD	MEZZ	MEZZANINE	TRTD	TREATED
DEMO	DEMOLISH	MFG	MANUFACTURING	TV	TELEVISION
DEPT	DEPARTMENT	MFR	MANUFACTURER	TYP	TYPICAL
DET	DETAIL	MIN	MINIMUM	UL	UNDERWRITERS LABORATORIES
DF	DRINKING FOUNTAIN	MISC	MISCELLANEOUS	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	MO	MASONRY OPENING	V.I.F.	VERIFY IN FIELD
DIAG	DIAGONAL	MR	MOISTURE RESISTANT	VERT	VERTICAL
DIM	DIMENSION	MTD	MOUNTED	VEST	VESTIBULE
DIV	DIVISION	MTG	MOUNTING	W	WEST, WIDE
DS	DOWNSPOUT	MTL	METAL	W/	WITH
E	EAST	N	NORTH	WO	WITHOUT
EA	EACH	NIC	NOT IN CONTRACT	WW	WALL TO WALL
EDF	EXISTING DRINKING FOUNTAIN	NOM	NOMINAL	WC	WATER CLOSET
EIS	EXTERIOR INSULATION & FINISH SYSTEM	NON COMB	NON-COMBUSTIBLE	WD	WOOD
EJ	EXPANSION JOINT	NTS	NOT TO SCALE	WDS	WATER DISPENSING STATION (BOTTLE FILLING STATION)
EL	ELEVATION	OC	ON CENTER	WP	WORKING POINT, WATERPROOFING
ELEC	ELECTRIC(AL)	OD	OUTSIDE DIAMETER	WR	WATER REPELLENT
ELEV	ELEVATOR	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED	WT	WEIGHT
ENCL	ENCLOSED	OPP	OPPOSITE	WWF	WELDED WIRE FABRIC
EQS	EDGE OF SLAB	OPT	OPTIONAL	YD	YARD
EQU	EQUAL	OSE	OFFICE OF STATE ENGINEER		
EQUIP	EQUIPMENT	PCF	POUNDS PER CUBIC FOOT		
ETR	EXISTING TO REMAIN	PLAM	PLASTIC LAMINATE		
EWC	ELECTRIC WATER COOLER	PLF	POUNDS PER LINEAR FEET		
EXIST	EXISTING	PLYWD	PLYWOOD		
EXP JT	EXPANSION JOINT	PNL	PANEL		
EXT	EXTERIOR	PR	PAIR		
FF	FACE TO FACE	PREFAB	PREFABRICATED		
FD	FLOOR DRAIN	PREFIN	PREFINISH		
FE	FIRE EXTINGUISHER	PRKG	PARKING		
FE	FIRE EXTINGUISHER CABINET	PSF	POUNDS PER SQUARE FOOT		
FF EL	FINISH FLOOR ELEVATION	PSI	POUNDS PER SQUARE INCH		
FHC	FIRE HOSE CABINET	PT	PAINT, POST-TENSIONED, PRE-TREATED		
FIN FLR	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE (PLASTIC)		
FLR	FLOOR, FILLER	QTR	QUARTER		
FOC	FACE OF CURB	QTY	QUANTITY		
FOF	FACE OF FINISH	R	RADIUS, RISER		
FOM	FACE OF MASONRY	RCP	REFLECTED CEILING PLAN		
FOS	FACE OF SLAB	RD	ROOF DRAIN		
FOW	FACE OF WALL	REF	REFRIGERATOR, REFERENCE		
FT	FOOT, FEET	REQD	REQUIRED		
FTG	FOOTING	RL	ROOF LEADER		
FURN	FURNISH, FURNITURE	RM	ROOM		
GA	GAGE	RO	ROUGH OPENING		
GALV	GALVANIZED	ROW	RIGHT OF WAY		

DRAWING SHEET INDEX

C-001	COVER SHEET
G-001	PROJECT INFORMATION, DRAWING INDEX AND GENERAL REQUIREMENTS
AD-103	3RD & 5TH FLOOR DEMOLITION PLANS
AD-123	3RD & 5TH FLOOR DEMOLITION CEILING PLANS
A-103	3RD & 5TH FLOOR RENOVATION PLANS
A-123	3RD & 5TH FLOOR REFLECTED CEILING PLANS

FIRE PROTECTION

FP-100	FIRE PROTECTION SPECIFICATIONS, NOTES, DETAILS, AND SCHEDULES
FP-200	FIRE PROTECTION THIRD FLOOR PLAN
FP-300	FIRE PROTECTION FIFTH FLOOR PLAN

GENERAL REQUIREMENTS

- THE TERM "CONTRACTOR" AND/OR "GC" WHEN USED ALONE REFERS TO THE GENERAL CONTRACTOR. THE "GC" SHALL BE RESPONSIBLE FOR ALL TRADES AND THE SCOPE CALLED FOR ON ALL DOCUMENTS.
- THE TERM "LS3P" REFERS TO LS3P ASSOCIATED LTD. 701-A LADY STREET COLUMBIA, SC 29201
- THE TERM "OWNER" REFERS TO THE UNIVERSITY OF SOUTH CAROLINA AND/OR THE TERM "TENANT" REFERS TO THE CLIENT AND/OR OCCUPANT OF THE PREMISES.
- THE GC SHALL NOTIFY LS3P IMMEDIATELY IF HE/SHE CANNOT COMPLY WITH ALL NOTES CALLED FOR ON THIS SHEET AND/OR ALL OTHER LS3P DRAWINGS.
- THE GC SHALL TOUR THE SITE TO VERIFY THE PROJECT SCOPE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. GC TO FULLY UNDERSTAND THE SCOPE OF WORK, AS SHOWN IN THESE DRAWINGS PRIOR TO THE SUBMISSION OF ANY PROPOSAL.
- GC SHALL NOT SCALE DRAWINGS AND SHALL VERIFY ALL DIMENSIONS IN FIELD. IF DIMENSIONS ARE OMITTED OR IN QUESTION, THE GC SHALL OBTAIN CLARIFICATION FROM LS3P BEFORE CONTINUING WITH CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, REGULATIONS AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH BUILDING RULES AND REGULATIONS AS SET FORTH BY THE BUILDING OWNER/LANDLORD.
- ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK AND FOR SUBSEQUENT TENANT OCCUPANCY TO BE SECURED AND PAID FOR BY THE GC.
- ALL WORK INDICATED WITHIN THE PROJECT SCOPE AND DESCRIBED ON THESE DRAWINGS IS THE GC'S RESPONSIBILITY, UNLESS OTHERWISE NOTED.
- THE GC IS RESPONSIBLE FOR THE COORDINATION AMONG ALL TRADES TO ENSURE PROPER SEQUENCE AND EXECUTION OF WORK.
- ALL REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE GC IS RESPONSIBLE FOR PLACING AND ENSURING THAT ALL LIFE SAFETY MEET APPLICABLE CODES AND ARE IN GOOD WORKING ORDER. DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, FIRE BELL PULL STATIONS, SMOKE DETECTION AND EXTINGUISHERS. ALL EXISTING FIRE-RATED ELEMENTS TO BE RECONSTRUCTED IF DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION. DISTURBANCES TO BE KEPT TO A MINIMUM.
- ALL MATERIALS, ITEMS AND FIXTURES TO BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND INDUSTRY STANDARDS.
- ANY PRODUCT SUBSTITUTIONS INITIATED BY THE GC MAY BE CONSIDERED IF SUBMITTED AND APPROVED BY LS3P DURING THE PRICING PHASE ONLY. SUBSTITUTIONS SUBMITTED AFTER THE AWARD OF THE GENERAL CONTRACT MAY NOT BE CONSIDERED OR ACCEPTED. SUBSTITUTION SUBMISSIONS TO LS3P MUST CONTAIN COMPLETE PRODUCT DATA FOR THE PROPOSED SUBSTITUTION AND COMPLETE PRODUCT DATA FOR THE PRODUCT SPECIFIED IN THE DRAWINGS FOR WHICH THE GC IS PROPOSING SUBSTITUTION.
- IMMEDIATELY UPON THE AWARD OF CONTRACT, THE GC TO CHECK CURRENT STOCK OF ALL ITEMS, INCLUDING BUT NOT LIMITED TO CARPET, WALLCOVERING, TILE/GRANITE/MARBLE AND LAMINATE. WITHIN 2 WEEKS OF THE AWARD OF CONTRACT, THE GC TO PROVIDE LS3P AND OWNER VERIFICATION OF MATERIALS PURCHASED TO ENSURE A TIMELY INSTALLATION. IF SPECIFIED ITEMS ARE OUT OF STOCK OR DISCONTINUED, THE GC TO PROVIDE LS3P AND/OR OWNER A MINIMUM OF (2) OPTIONS FOR THE SUBSTITUTES.
- THE GC MUST NOTIFY LS3P AND/OR OWNER, OF ALL LONG-LEAD ITEMS WITHIN 2 WEEKS OF THE AWARD OF THE GENERAL CONTRACT.
- WHERE "MIN" OR "VIF" IS NOTED ON PLANS, THE GC TO FIELD VERIFY THE DIMENSION IS OBTAINABLE. IF NOT, THE GC TO OBTAIN DIRECTION FROM LS3P.
- THE DRAWINGS AND CONSTRUCTION SPECIFICATIONS AND NOTES ARE COMPLEMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH. DISCREPANCIES AND/OR CONFLICTING INFORMATION AMONG OR WITHIN THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF LS3P DURING THE PRICING PHASE FOR CLARIFICATION. ANY DISCREPANCIES BROUGHT TO LS3P'S ATTENTION BY EITHER HIMSELF, THE OWNER, GC, TENANT OR ANOTHER PARTY, AFTER THE GC HAS BEEN AWARDED, SHALL BE RESOLVED BY LS3P. LS3P SHALL DETERMINE WHICH CONFLICTING ITEM SHALL GOVERN AS THE INSTRUCTIONS TO THE GC REGARDING THE EXECUTION OF THE WORK. AT NO ADDITIONAL COST TO THE OWNER, TENANT, LS3P, OR ANY OF THEIR REPRESENTATIVES AND/OR CONSULTANTS.
- THE GC TO COORDINATE WITH THE BUILDING MANAGER THE INSTALLATION OF MATERIALS WHICH ARE RELATED TO THE BASE BUILDING OR OTHER TENANT SPACES. THE GC SHALL GIVE BUILDING MANAGEMENT A MINIMUM OF 24 HOURS NOTICE FOR ANY WORK TO BE PERFORMED AFTER NORMAL BUILDING HOURS (7A.M. - 6P.M.), ON WEEKENDS OR TO PERFORM ANY WORK REQUIRED IN AN ADJACENT TENANT'S SPACE.
- THE GC IS RESPONSIBLE FOR THE COORDINATION OF ALL BUILDING SERVICES, TEMPORARY FIRE PROTECTION, TRASH REMOVAL AND COMPLIANCE WITH CONSTRUCTION REGULATIONS. THE GC TO COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF BUILDING ELEVATORS, MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT OR INTERFERENCE WITH THE NORMAL BUILDING OPERATIONS. THE GC TO THOROUGHLY CLEAN ALL NEW WORK PRIOR TO TURNING OVER SPACE TO TENANT.
- THE GC TO PROVIDE EACH TRADE WITH A COMPLETE SET OF PLANS INCLUDING DISTRIBUTION OF ANY REVISIONS OR RE-ISSUE OF PLANS. THESE MUST ALWAYS BE USED AS A COMPLETE SET.
- A SCHEDULE OF THE WORK AS WELL AS THE COST ESTIMATE BREAK DOWN OF WORK SHALL BE PROVIDED TO THE OWNER, TENANT AND LS3P (PROJECT MANAGER).
- WITHIN 2 WEEKS OF THE AWARDED CONTRACT AND PRIOR TO THE PURCHASE OF MATERIALS AND/OR FABRICATION, THE GC TO PROVIDE CUTS, SAMPLES, AND/OR SHOP DRAWINGS TO LS3P'S ATTENTION FOR REVIEW AND APPROVAL. FOR THE FOLLOWING ITEMS UNLESS OTHERWISE NOTED:
 - SHOP DRAWINGS: MILLWORK, CARPET SEAMING DIAGRAM, SIGNAGE, REFLECTED CLG. DETAILS (HVAC, SPRINKLER, GRILLES, ETC.), ELECTRIC/TELEPHONE PANEL LOCATIONS AND THERMOSTAT LOCATIONS
 - CUTS: PLUMBING FIXTURES, LIGHTING FIXTURES, HARDWARE, WOOD FLOORING, SUPPLY AND/OR RETURN REGISTERS, DRINKING FOUNTAINS, APPLIANCES, KITCHEN CABINETS, EXIT SIGNS, EMERGENCY LIGHTING
 - SAMPLES: TINTED/TREATED GLASS, WOOD MILLWORK/VENEER, PAINT COLORS ON DRYWALL, STAIN ON APPROPRIATE WOOD, MARBLE/GRAVITE, FLOORING MATERIALS, WALLCOVERING (VINYL AND/OR FABRIC), MOCK-UP WITH SEAM SAMPLE AS WELL AS ANY CUSTOM ITEMS
- GC TO PROVIDE TENANT/OWNER WITH THE MANUFACTURER'S RECOMMENDED MAINTENANCE SCHEDULE AND/OR PROGRAM FOR EACH SPECIFIED APPLIANCE AND FINISH MATERIAL, INCLUDING CLEANING PROCEDURES AND EQUIPMENT TO BE USED. INCLUDE ALL WARRANTIES, GUARANTEES AND INSTRUCTION MANUALS. THIS INFORMATION TO BE SUBMITTED WITH FINAL PAYMENT REQUEST.
- UPON COMPLETION OF THE PROJECT, GC TO PROVIDE THE OWNER/TENANT AND LS3P WITH "AS-BUILT" DRAWINGS. THESE DRAWINGS TO INCLUDE ANY REVISIONS TO THE STRUCTURAL, ELECTRICAL AND AIR DISTRIBUTION SYSTEMS. "AS-BUILTS" TO CONSIST OF A NEATLY MARKED-UP SET OF BLACK-LINE PRINTS.
- LS3P MAKES EVERY EFFORT TO SPECIFY PRODUCTS THAT MEET AND/OR EXCEED MINIMUM INDUSTRY STANDARDS. HAVE APPROPRIATE TEST RESULT DOCUMENTATION, HAVE BEEN RESEARCHED AND TESTED, ARE APPROPRIATE FOR THE INTENDED USE, MANUFACTURED BY COMPANIES WHO WARRANT THEIR PRODUCTS AND ARE IN GOOD FINANCIAL STANDING. LS3P CANNOT GUARANTEE, WARRANTY OR BE HELD RESPONSIBLE FOR A PRODUCT AND/OR MANUFACTURER'S FAILURE OR THE ABILITY TO SATISFY OBLIGATIONS.
- REFER TO GENERAL CONSTRUCTION NOTES SHEET & INDIVIDUAL DRAWINGS FOR ADDITIONAL NOTES & SCOPE.
- GC TO BE MINDFUL OF CLASSES AND OCCUPANCY ON, ABOVE, AND BELOW AREA OF WORK. NOISE, VIBRATION, DRILLING AND/OR SMELL RELATED ACTIVITIES SIGNIFICANT ENOUGH TO DISTURB ADJACENT OCCUPANTS MAY ONLY PERFORMED BETWEEN 9:00PM AND 8:00AM DAILY OR ON WEEKENDS.



REVISIONS:

No.	Description	Date

VICINITY MAP



AREA MAP



PROJECT: 2202-193400
DATE: 02/10/20
DRAWN BY: Author
CHECKED BY: Checker

PROJECT
INFORMATION,
DRAWING INDEX
AND GENERAL
REQUIREMENTS

G-001

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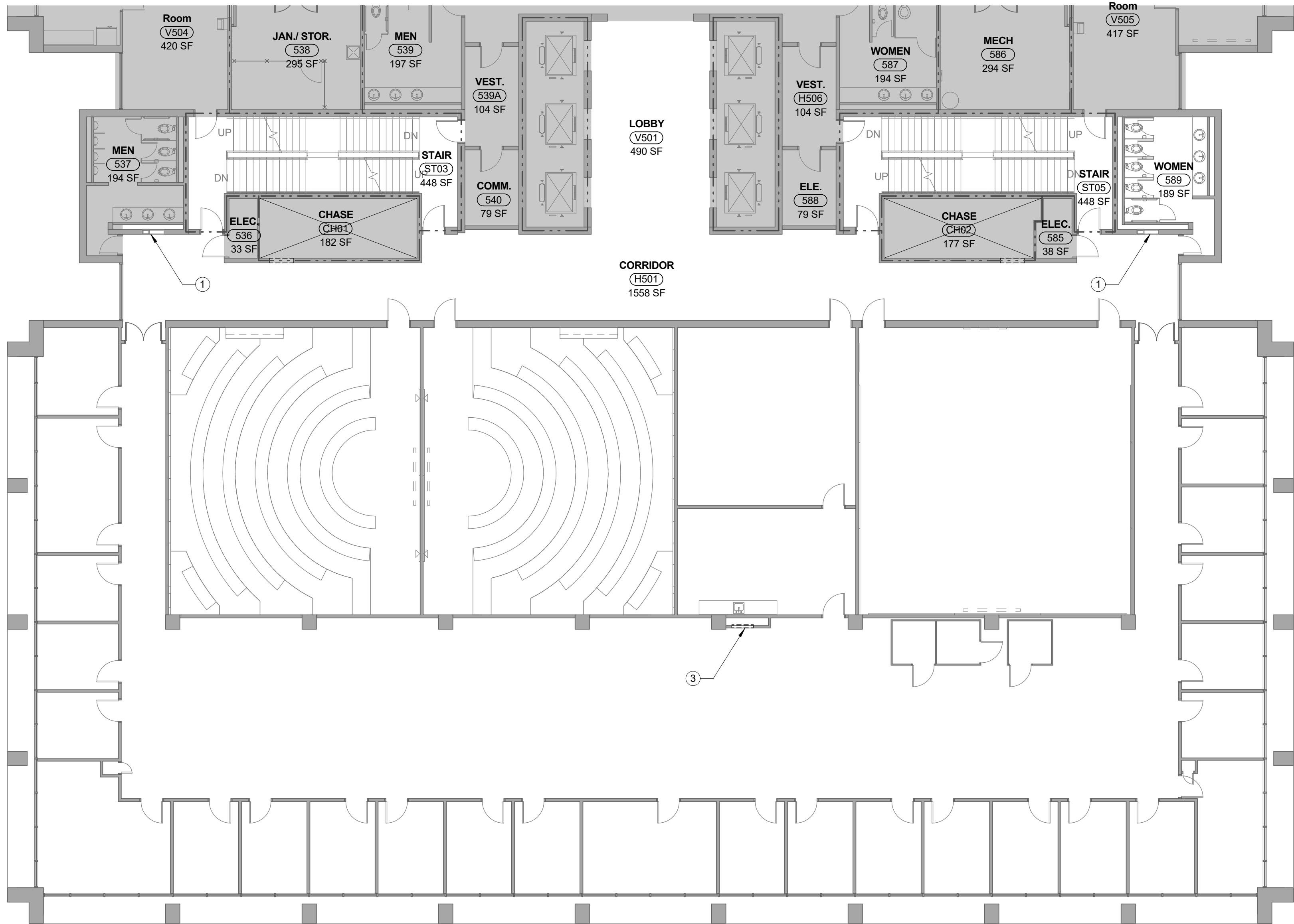
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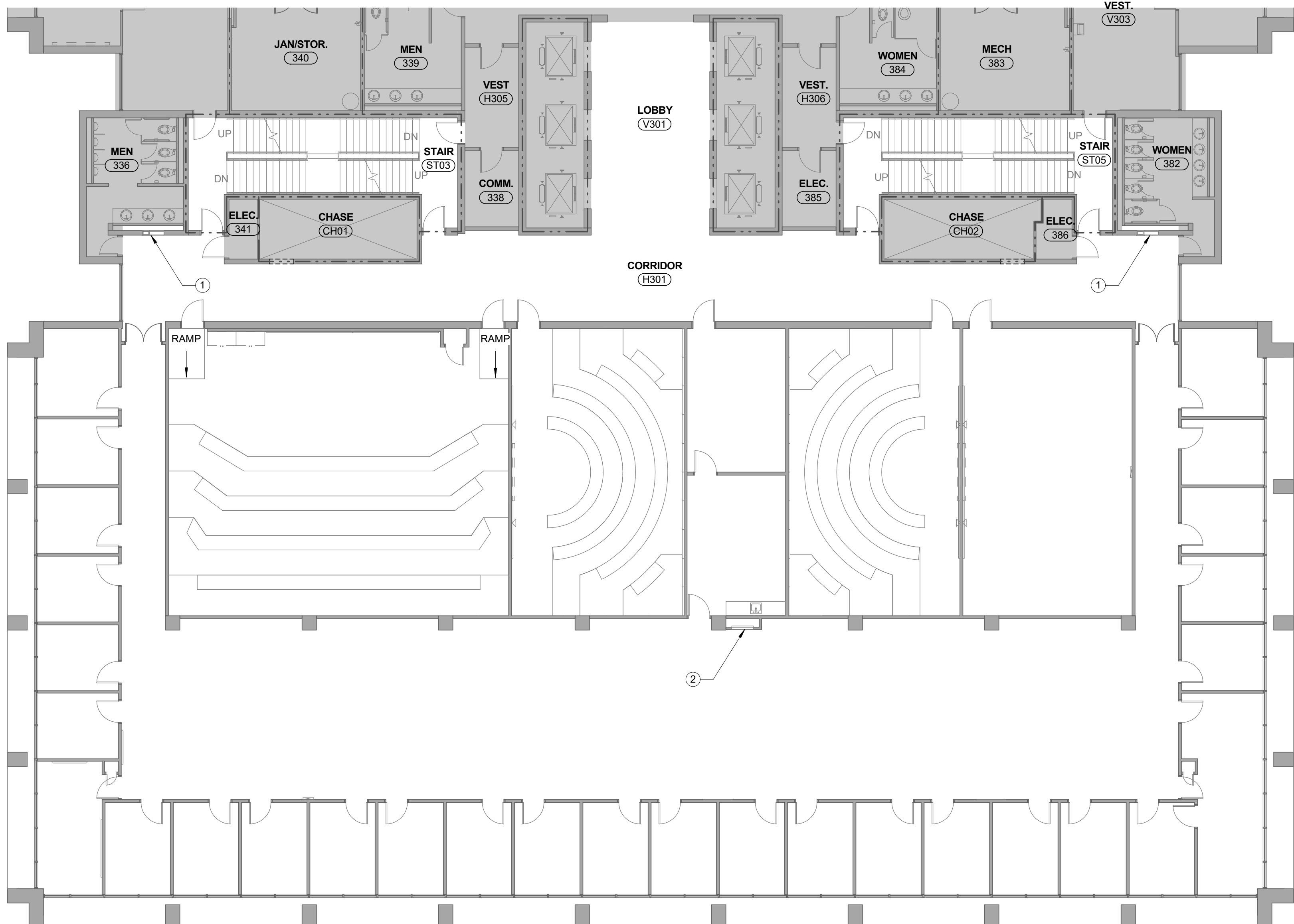
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C1 5TH FLOOR - DEMOLITION PLAN
3/32" = 1'-0"



A1 3RD FLOOR - DEMOLITION PLAN
3/32" = 1'-0"

GENERAL NOTES - DEMOLITION PLANS

- A. NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
- B. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- C. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY PROTECTED, SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- D. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
- E. ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
- F. DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- G. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- H. TERMINATE AND CAP ANY UTILITY WHICH OCCURS IN EXISTING WALLS, CEILINGS OR FLOORS TO BE REMOVED AND IS NOT INTENDED FOR REUSE.
- I. PREPARE AND PATCH SURFACES THAT ARE DESIGNATED TO RECEIVE NEW FINISHES AS DESCRIBED IN THE CONTRACT DOCUMENTS INCLUDING REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
- J. MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR TO BE REUSED.
- K. IF MATERIALS ARE ENCOUNTERED DURING THE COURSE OF DEMOLITION/RENOVATION THAT APPEAR TO BE ASBESTOS-CONTAINING MATERIAL, AND WHICH ARE NOT IDENTIFIED IN THE DOCUMENTS, THEN WORK SHALL STOP IN THAT AREA AND THE OWNER IS TO BE NOTIFIED SO THAT THE MATERIAL CAN BE TESTED BY THE OWNER.
- L. CUT AND PATCH FLOORS, WALLS AND CEILINGS WHERE REQUIRED TO CONCEAL ANY OF THE FOLLOWING: NEW MECHANICAL, PLUMBING, AND ELECTRICAL COMPONENTS, UNLESS NOTED OTHERWISE. REPAIR CONSTRUCTION TO MATCH ADJACENT FINISHES.
- M. ALL DIMENSIONS AND AREAS SHOWN ON THIS SHEET ARE APPROXIMATE FOR REFERENCE ONLY, AND MUST BE FIELD-VERIFIED PRIOR TO EXECUTION OF DEMOLITION WORK.
- N. REGARDING EXISTING WALLS TO BE REMOVED, CONTRACTOR SHALL COORDINATE WITH SELECTIVE DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.
- O. EXISTING PLANS ARE BASED ON ORIGINAL CONSTRUCTION DRAWINGS AND CAD DRAWINGS PROVIDED BY THE OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE DEMOLITION BEGINS.
- P. CONFIRM WITH OWNER PRIOR TO REMOVAL OF EXISTING WALL-MOUNTED MARKERBOARDS / TELEVISIONS / EQUIPMENT AS REQUIRED IN AREAS OF NEW WORK.
- Q. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE CONTRACT DOCUMENTS DO NOT GIVE SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.
- R. OWNER WILL REMOVE AND ABATE ALL WALL SIGNAGE IN AREA OF WORK TO BE REMOVED, TYP.
- S. DEMOLITION SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS IN THE OCCUPIED PORTIONS OF BUILDING.
- T. DEMOLITION SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF ACCESSIBILITY PROVIDED.
- U. REGARDING EXISTING WALLS TO BE REMOVED, CONTRACTOR SHALL COORDINATE WITH SELECTIVE DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.
- V. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL SELECTIVE DEMOLITION REQUIRED. REPAIR AREAS TO MATCH EXISTING CONDITIONS WHERE REQUIRED.
- W. CONFIRM WITH OWNER THE FOLLOWING: CONTRACTOR IS TO BE AWARE THAT EXISTING DRYWALL WALL AND CEILING SYSTEMS LOCATED THROUGHOUT THE STRUCTURE ARE ASBESTOS CONTAINING MATERIALS (ACM). ONLY PERSONNEL LICENSED AND CERTIFIED TO WORK WITH ACM SHALL DISTURB EXISTING DRYWALL WALL AND CEILING SYSTEMS. CONTRACTOR IS TO COORDINATE WITH THE GC AND THE ABATEMENT CONTRACTOR ALL RENOVATION AND DEMOLITION ACTIVITIES THAT WILL IMPACT THE EXISTING DRYWALL IN THE BUILDING. ALL PENETRATIONS AND ATTACHMENTS TO EXISTING DRYWALL SHALL BE COORDINATED WITH AND PERFORMED BY THE ABATEMENT CONTRACTOR THROUGHOUT ALL PHASES OF THE PROJECT. TO INCLUDE INSTALLATION OF MECHANICAL SYSTEMS PIPING AND DUCTWORK, REMOVAL OF EXISTING SUSPENDED CEILING PERIMETER TRACKING ATTACHED TO EXISTING DRYWALL AND INSTALLATION OF NEW SUSPENDED CEILING TRACKING ON EXISTING DRYWALL. CONTRACTOR SHALL INCLUDE IN BASE BID COSTS ASSOCIATED WITH THE COORDINATION AND SEQUENCING OF THESE TASKS.
- X. GC TO BE MINDFUL OF CLASSES AND OCCUPANCY ON, ABOVE, AND BELOW AREA OF WORK. NOISE, VIBRATION, DRILLING AND/OR SMELL RELATED ACTIVITIES SIGNIFICANT ENOUGH TO DISTURB ADJACENT OCCUPANTS MAY ONLY PERFORMED BETWEEN 9:00PM AND 8:00AM DAILY OR ON WEEKENDS.

SHEET NOTES - DEMOLITION PLANS

1. UPON COMPLETION OF ALL SPRINKLER WORK AND TESTING COMPLETE, GC TO PROVIDE FIRE EXTINGUISHER TO BE LOCATED IN EXISTING FIRE HOSE CABINET. WATER COOLER TO REMAIN AND OPERATIONAL.
2. UPON COMPLETION OF ALL SPRINKLER WORK AND TESTING COMPLETE, GC TO REMOVE EXISTING FIRE HOSE CABINET AND CAP LINES. PIPE MUST BE REMOVED ALL THE WAY TO ABOVE THE CEILING AS WALL CONTAINING CABINET WILL BE REMOVED BY OTHERS.
3. UPON COMPLETION OF ALL SPRINKLER WORK AND TESTING COMPLETE, GC TO REMOVE EXISTING FIRE HOSE CABINET AND CAP LINES. PIPE MUST BE REMOVED ALL THE WAY TO ABOVE CEILING. SEE A-105 FOR ADDITIONAL WORK.



SPINKLER
INSTALLATION,
CLOSE-HIPP
3RD AND 5TH
FLOORS

H27-Z387
50003342-3



REVISIONS:

No.	Description	Date

PROJECT: 2202-193400
DATE: 02/10/20
DRAWN BY: Author
CHECKED BY: Checker

3RD & 5TH FLOOR
DEMOLITION
PLANS

AD-103

E

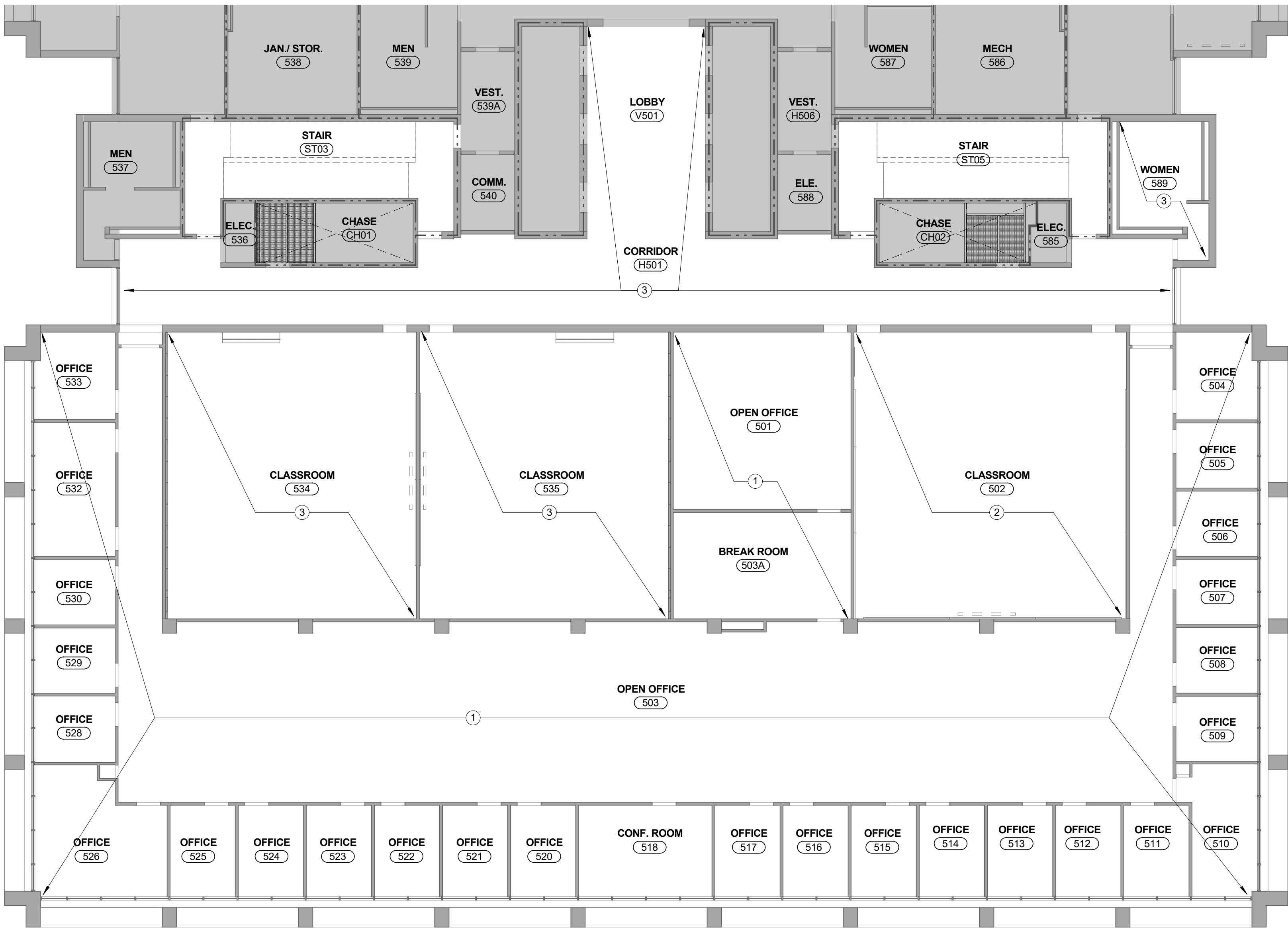
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C1 DEMOLITION REFLECTED CEILING PLAN - 5TH FLOOR
3/32" = 1'-0"



A1 DEMOLITION REFLECTED CEILING PLAN - 3RD FLOOR
3/32" = 1'-0"

GENERAL NOTES - DEMOLITION PLANS

- NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
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- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY PROTECTED, SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
- ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
- DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- TERMINATE AND CAP ANY UTILITY WHICH OCCURS IN EXISTING WALLS, CEILINGS OR FLOORS TO BE REMOVED AND IS NOT INTENDED FOR REUSE.
- PREPARE AND PATCH SURFACES THAT ARE DESIGNATED TO RECEIVE NEW FINISHES AS DESCRIBED IN THE CONTRACT DOCUMENTS INCLUDING REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
- MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR TO BE REUSED.
- IF MATERIALS ARE ENCOUNTERED DURING THE COURSE OF DEMOLITION/RENOVATION THAT APPEAR TO BE ASBESTOS-CONTAINING MATERIAL, AND WHICH ARE NOT IDENTIFIED IN THE DOCUMENTS, THEN WORK SHALL STOP IN THAT AREA AND THE OWNER IS TO BE NOTIFIED SO THAT THE MATERIAL CAN BE TESTED BY THE OWNER.
- CUT AND PATCH FLOORS, WALLS AND CEILINGS WHERE REQUIRED TO CONCEAL ANY OF THE FOLLOWING: NEW MECHANICAL, PLUMBING, AND ELECTRICAL COMPONENTS, UNLESS NOTED OTHERWISE. REPAIR CONSTRUCTION TO MATCH ADJACENT FINISHES.
- ALL DIMENSIONS AND AREAS SHOWN ON THIS SHEET ARE APPROXIMATE FOR REFERENCE ONLY, AND MUST BE FIELD-VERIFIED PRIOR TO EXECUTION OF DEMOLITION WORK.
- REGARDING EXISTING WALLS TO BE REMOVED, CONTRACTOR SHALL COORDINATE WITH SELECTIVE DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.
- EXISTING PLANS ARE BASED ON ORIGINAL CONSTRUCTION DRAWINGS AND CAD DRAWINGS PROVIDED BY THE OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE DEMOLITION BEGINS.
- CONFIRM WITH OWNER PRIOR TO REMOVAL OF EXISTING WALL-MOUNTED MARKERBOARDS / TELEVISIONS / EQUIPMENT AS REQUIRED IN AREAS OF NEW WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE CONTRACT DOCUMENTS DO NOT GIVE SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.
- OWNER WILL REMOVE AND ABATE ALL WALL SIGNAGE IN AREA OF WORK TO BE REMOVED, TYP.
- DEMOLITION SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS IN THE OCCUPIED PORTIONS OF BUILDING.
- DEMOLITION SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF ACCESSIBILITY PROVIDED.
- REGARDING EXISTING WALLS TO BE REMOVED, CONTRACTOR SHALL COORDINATE WITH SELECTIVE DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.
- REFER TO PLUMBING DRAWINGS FOR ADDITIONAL SELECTIVE DEMOLITION REQUIRED. REPAIR AREAS TO MATCH EXISTING CONDITIONS WHERE REQUIRED.
- CONFIRM WITH OWNER THE FOLLOWING: CONTRACTOR IS TO BE AWARE THAT EXISTING DRYWALL WALL AND CEILING SYSTEMS LOCATED THROUGHOUT THE STRUCTURE ARE ASBESTOS CONTAINING MATERIALS (ACM). ONLY PERSONNEL LICENSED AND CERTIFIED TO WORK WITH ACM SHALL DISTURB EXISTING DRYWALL WALL AND CEILING SYSTEMS. CONTRACTOR IS TO COORDINATE WITH THE GC AND THE ABATEMENT CONTRACTOR ALL RENOVATION AND DEMOLITION ACTIVITIES THAT WILL IMPACT THE EXISTING DRYWALL IN THE BUILDING. ALL PENETRATIONS AND ATTACHMENTS TO EXISTING DRYWALL SHALL BE COORDINATED WITH AND PERFORMED BY THE ABATEMENT CONTRACTOR THROUGHOUT ALL PHASES OF THE PROJECT, TO INCLUDE INSTALLATION OF MECHANICAL SYSTEMS PIPING AND DUCTWORK, REMOVAL OF EXISTING SUSPENDED CEILING PERIMETER TRACKING ATTACHED TO EXISTING DRYWALL AND INSTALLATION OF NEW SUSPENDED CEILING TRACKING ON EXISTING DRYWALL. CONTRACTOR SHALL INCLUDE IN BASE BID COSTS ASSOCIATED WITH THE COORDINATION AND SEQUENCING OF THESE TASKS.
- GC TO BE MINDFUL OF CLASSES AND OCCUPANCY ON, ABOVE, AND BELOW AREA OF WORK. NOISE, VIBRATION, DRILLING AND/OR SMELL RELATED ACTIVITIES SIGNIFICANT ENOUGH TO DISTURB ADJACENT OCCUPANTS MAY ONLY BE PERFORMED BETWEEN 9:00PM AND 8:00AM DAILY OR ON WEEKENDS.

SHEET NOTES - DEMOLITION PLANS

- CEILING TILE AND GRID DEMO BY OTHERS.
- GC TO REMOVE AND DISPOSE OF ALL EXISTING CEILING TILES. GC TO DEMO GRID AS NEEDED TO PERFORM SPRINKLER WORK. VERIFY WITH OWNER WHEN WORK CAN BEGIN MID-SPRING SEMESTER.
- GC TO REMOVE AND DISPOSE OF ALL EXISTING CEILING TILES. GC TO DEMO GRID AS NEEDED TO PERFORM SPRINKLER WORK. VERIFY WITH OWNER WHEN WORK CAN BEGIN AFTER SPRING SEMESTER ENDS (ESTIMATED 5/9/20).
- GC TO REMOVE AND DISPOSE OF ALL EXISTING CEILING TILES AND GRID. VERIFY WITH OWNER WHEN WORK CAN BEGIN AFTER SPRING SEMESTER ENDS (ESTIMATED 5/9/20).



SPINKLER
INSTALLATION,
CLOSE-HIPP
3RD AND 5TH
FLOORS

H27-Z387
50003342-3



REVISIONS:

No.	Description	Date

PROJECT: 2202-193400
DATE: 02/10/20
DRAWN BY: Author
CHECKED BY: Checker

3RD & 5TH FLOOR
DEMOLITION
CEILING PLANS

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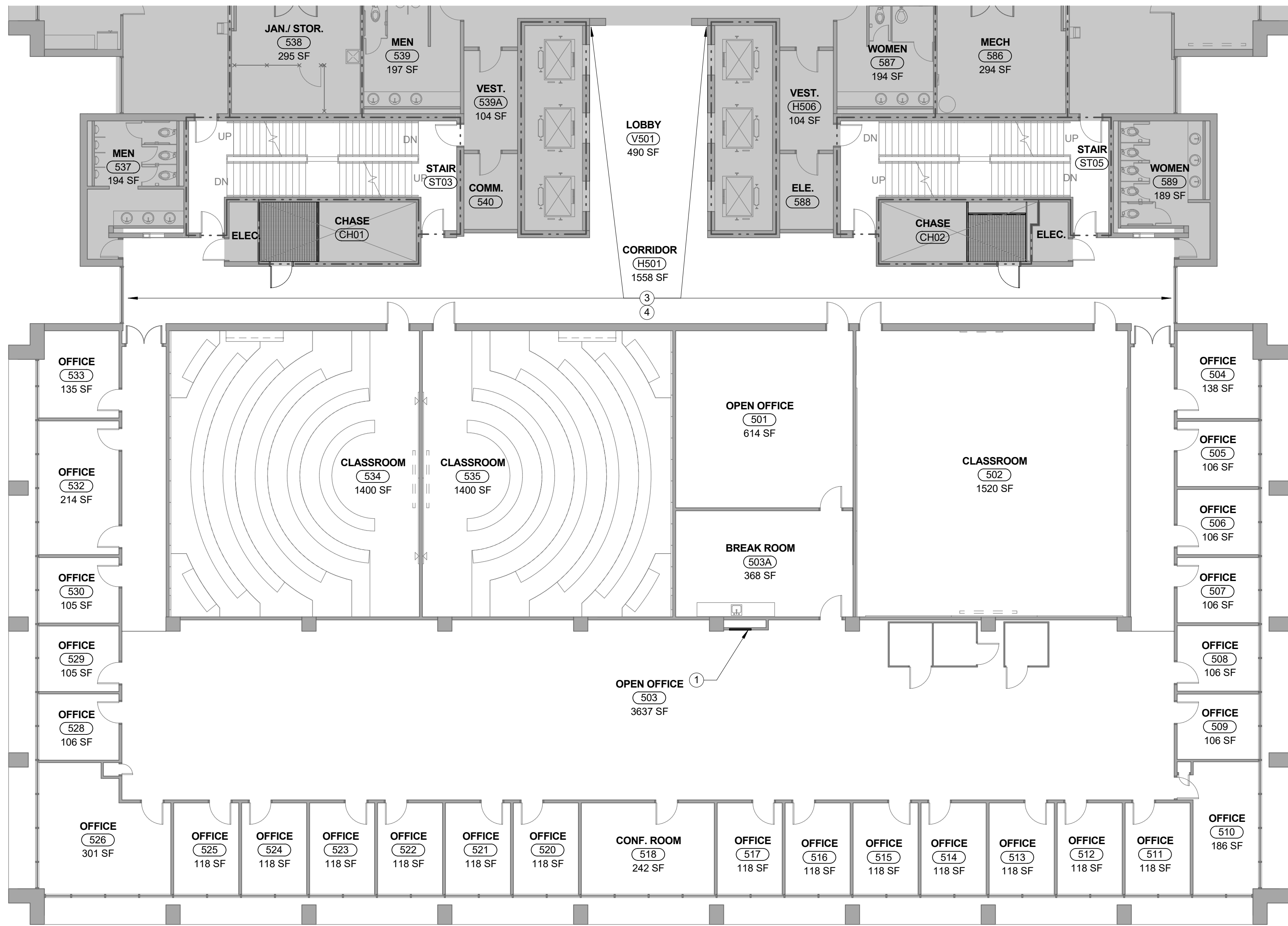
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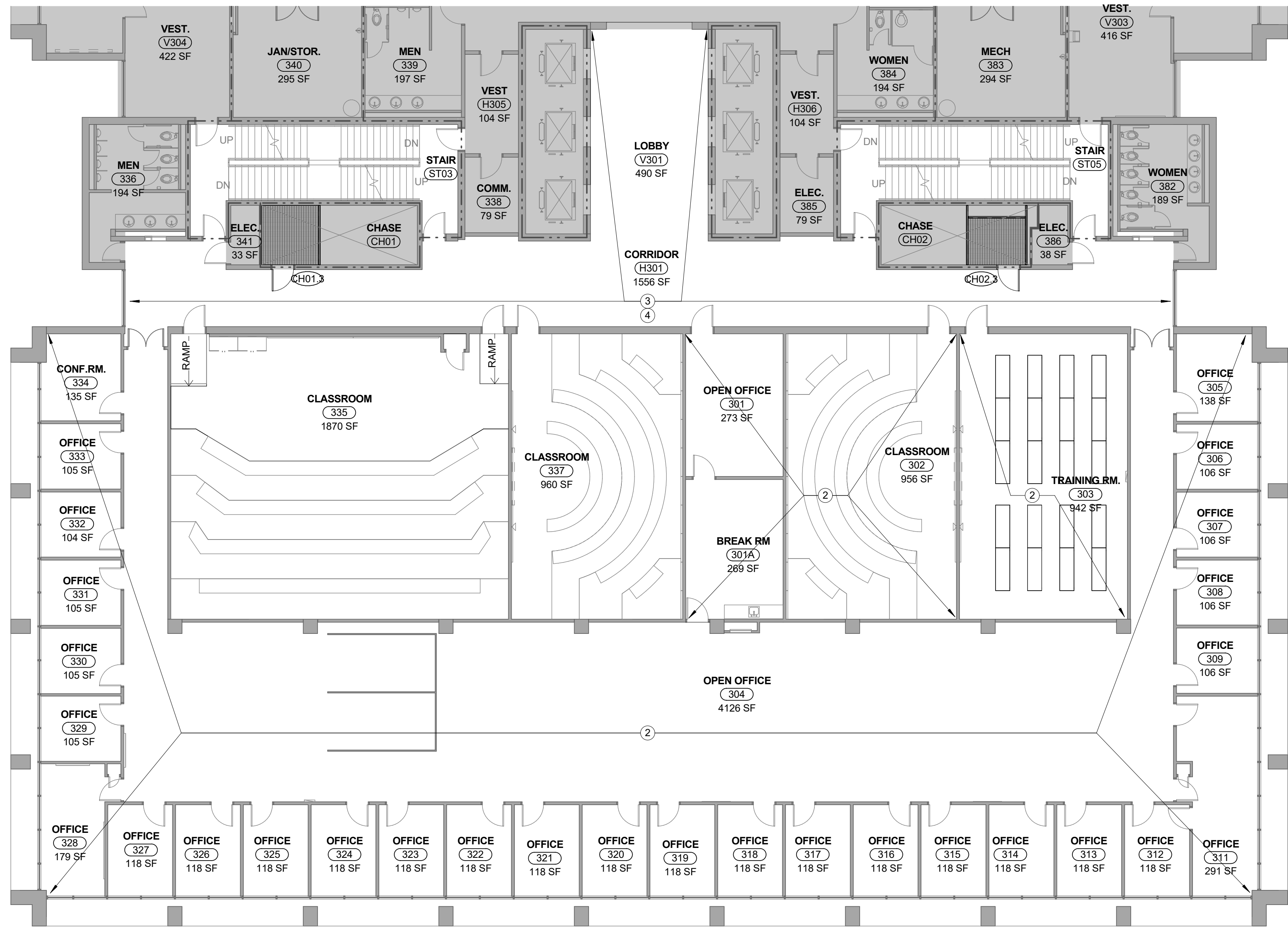
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1 5TH FLOOR RENOVATION PLAN
3/32" = 1'-0"



A1 3RD FLOOR RENOVATION PLAN
3/32" = 1'-0"

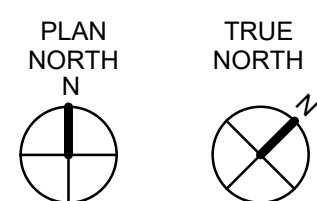
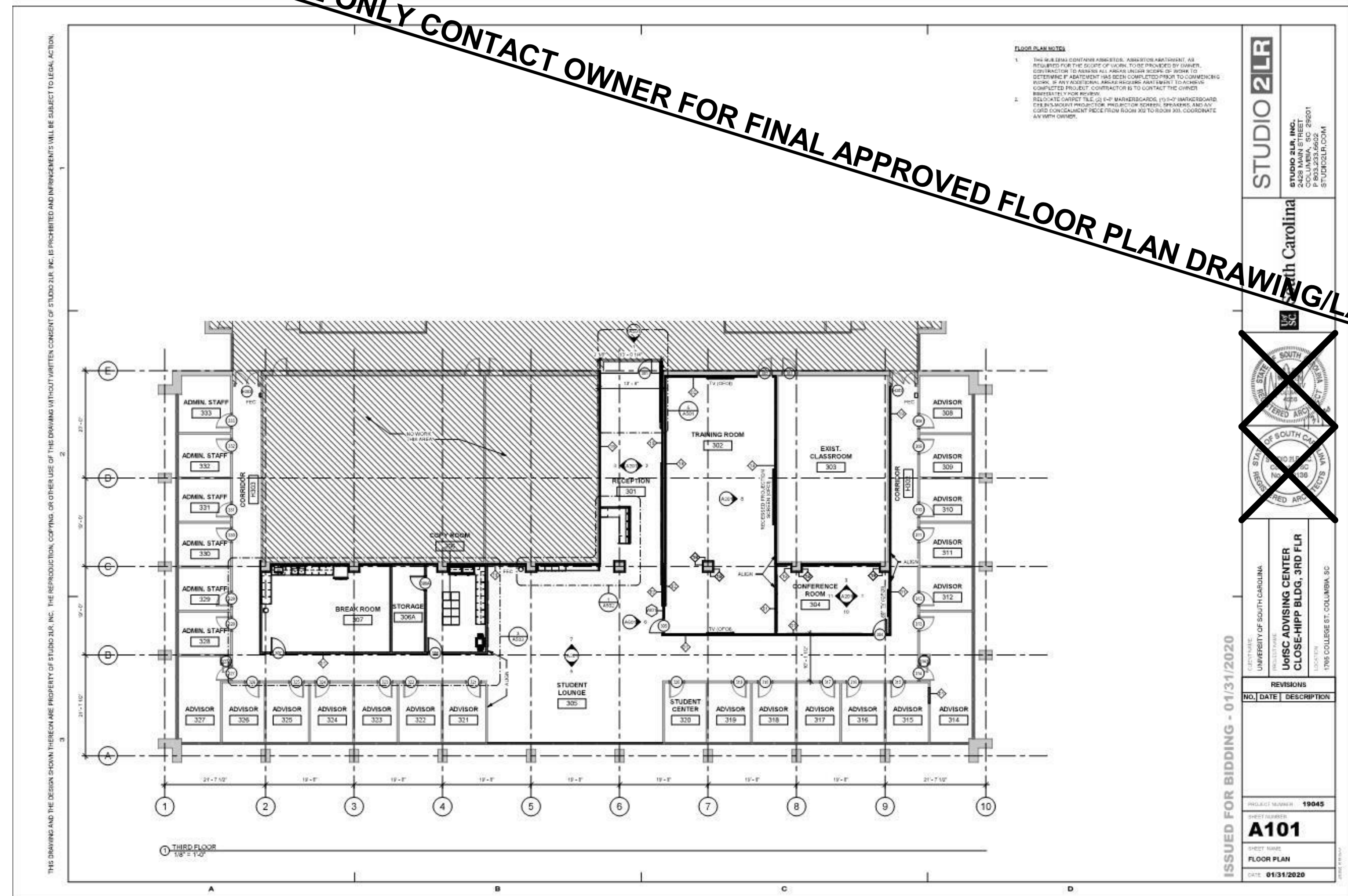


EXHIBIT 1: FOR REFERENCE ONLY CONTACT OWNER FOR FINAL APPROVED FLOOR PLAN DRAWING/LAYOUT.



GENERAL NOTES - RENOVATION PLANS

- SEE G-001 PROJECT INFORMATION SHEET
- SEE PLUMBING DRAWINGS FOR ADDITIONAL SCOPE OF WORK
- EXISTING PLANS ARE BASED ON ORIGINAL CONSTRUCTION DRAWINGS AND CAD DRAWINGS PROVIDED BY THE OWNER. CONTRACTOR IS TO FIELD VERIFY DIMENSIONS, CONFIRM EXISTING CONDITIONS AND NOTIFY OWNER/ARCHITECT OF INCONGRUITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL EXISTING FIRE RATED DEMISING WALLS & FIRE COMPARTMENT WALLS TO REMAIN. ALL EXISTING FIRE-RATED DOOR ASSEMBLIES TO REMAIN WITHIN THE EXISTING PARTITIONS.
- GC TO VERIFY THICKNESS OF EXISTING PARTITIONS TO REMAIN WHERE NEW PARTITIONS INFILL OR ALIGN WITH EXISTING PARTITIONS. GC TO ENSURE THAT THICKNESS OF BOTH PARTITIONS ARE EQUAL. IF UNEQUAL, GC TO MODIFY GWB THICKNESS AND/OR STUD DEPTH AS REQUIRED AT ALL NON-RATE PARTITIONS, TYP. COORDINATE THICKNESS OF PARTITIONS WITH DEPTH OF DOOR FRAMES AS REQUIRED, TYP.
- WHERE PARTITION BUTTS BUILDING CORE, GC TO PROVIDE EXPANSION JOINT AS REQUIRED, VIF.
- GC TO BE MINDFUL OF CLASSES AND OCCUPANCY ON, ABOVE, AND BELOW AREA OF WORK. NOISE, VIBRATION, DRILLING AND/OR SMELL RELATED ACTIVITIES SIGNIFICANT ENOUGH TO DISTURB ADJACENT OCCUPANTS MAY ONLY BE PERFORMED BETWEEN 9:00PM AND 8:00AM DAILY OR ON WEEKENDS.

SHEET NOTES - RENOVATION PLANS

- GC TO PATCH/INFILL WITH GYPSUM WALLBOARD AS REQUIRED IN FORMER FIRE HOSE CABINET LOCATION. PAINT TO MATCH EXISTING ADJACENT FINISH. EXISTING WATER COOLERS TO REMAIN AND OPERATIONAL.
- UPFIT RENOVATION AND LAYOUT BY OTHERS. REFER TO EXHIBIT 1 FOR REFERENCE ONLY. CONTACT OWNER FOR FINAL APPROVED FLOOR PLAN DRAWING/LAYOUT.
- UPON COMPLETION OF SPRINKLER AND CEILING WORK GC TO PAINT CORRIDOR AND ELEVATOR LOBBY WALLS AS WELL AS DOOR FRAMES. VERIFY FINISH AND PAINT SPECIFICATION WITH OWNER.
- UPON COMPLETION OF SPRINKLER AND CEILING WORK GC TO BUFF AND WAX EXISTING VCT FLOORINGS.



SPINKLER
INSTALLATION,
CLOSE-HIPP
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3RD & 5TH FLOOR
RENOVATION
PLANS

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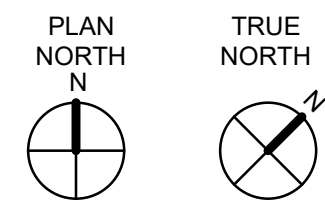
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1 5TH FLOOR REFLECTED CEILING PLAN
3/32" = 1'-0"



A1 3RD FLOOR REFLECTED CEILING PLAN
3/32" = 1'-0"



GENERAL NOTES - CEILING PLANS

- CEILING INSTALLATIONS SHALL MEET CISCA'S "GUIDELINES FOR SEISMIC RESTRAINT, ZONE "C" AND THE IBC, CHAPTER 16. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE PROVISIONS OF THESE STANDARDS. IN CASE OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- GRID CONFIGURATION WILL DETERMINE USE OF ACT#1 AND ACT#2. ACT#3 WILL BE USED IN RESTROOMS ONLY. SEE BELOW FOR BASIS OF DESIGN.
- CONTRACTOR RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS.
- CEILING WORK AND INSTALLATION TO OCCUR AFTER SPRINKLER WORK PERFORMED. COORDINATE WITH SPRINKLER DRAWINGS.
- INTENT IS TO HAVE NEW TILE AND GRID TO MATCH EXISTING SIZE/DIMENSIONS. VERIFY WITH OWNER IF SIZE IN LOCATION IS UNCLEAR.
- GC TO BE MINDFUL OF CLASSES AND OCCUPANCY ON, ABOVE, AND BELOW AREA OF WORK. NOISE, VIBRATION, DRILLING AND/OR SMELL RELATED ACTIVITIES SIGNIFICANT ENOUGH TO DISTURB ADJACENT OCCUPANTS MAY ONLY BE PERFORMED BETWEEN 9:00PM AND 8:00AM DAILY OR ON WEEKENDS.

BASIS OF DESIGN - CEILING TILE

BASIS OF DESIGN:
CEILING TILE ACT#1, ARMSTRONG FINE FISSURED-High NRC #1728 (24x24);
CEILING TILE ACT#2, ARMSTRONG FINE FISSURED-High NRC #1755 (24x48);
CEILING TILE ACT#3 (RESTROOMS ONLY), ARMSTRONG ULTIMA Health Zone #1935;
CEILING GRID, ARMSTRONG PRELUDE XL #7800.

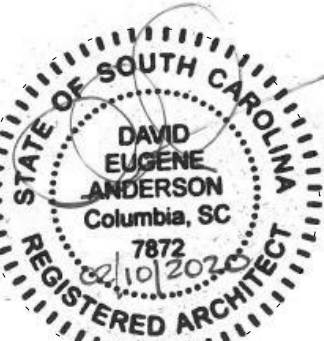
SHEET NOTES

- UPFIT RENOVATION AND LIGHTING REPLACEMENT BY OTHERS. GC TO PROVIDE NEW GRID AND TILE. REFER TO EXHIBIT 1 FOR REFERENCE ONLY. CONTACT OWNER FOR FINAL APPROVED FLOOR PLAN DRAWING/LAYOUT. GC TO INSTALL NEW TILE AND GRID AFTER SPRINKLER WORK IS COMPLETED. COORDINATE WITH OWNER/OWNER'S GC. SEE ALLOWANCE #1.
- GC TO PROVIDE NEW GRID AT LOCATION OF PREVIOUSLY INSTALLED GRID. EXISTING LIGHT FIXTURES, HVAC, AND OTHER CEILING ELEMENTS TO BE INSTALLED IN NEW GRID PER ORIGINAL LOCATIONS. GC TO INSTALL NEW TILE AND GRID AFTER SPRINKLER WORK IS COMPLETED.
- GC TO RESTORE GRID WHERE PREVIOUSLY REMOVED UPON COMPLETION OF SPRINKLER WORK. GC TO PROVIDE NEW TILE.
- CEILING BY OTHERS. REFER TO EXHIBIT 1 FOR REFERENCE ONLY. CONTACT OWNER FOR FINAL APPROVED FLOOR PLAN DRAWING/LAYOUT.
- UPFIT RENOVATION AND LIGHTING REPLACEMENT BY OTHERS. GC TO PROVIDE NEW GRID. REFER TO EXHIBIT 1 FOR REFERENCE ONLY. CONTACT OWNER FOR FINAL APPROVED FLOOR PLAN DRAWING/LAYOUT. INSTALL NEW CEILING TILE UPON COMPLETION OF SPRINKLER WORK. COORDINATE WITH OWNER/OWNER'S GC. SEE ALLOWANCE #1.



SPINKLER
INSTALLATION,
CLOSE-HIPP
3RD AND 5TH
FLOORS

H27-Z387
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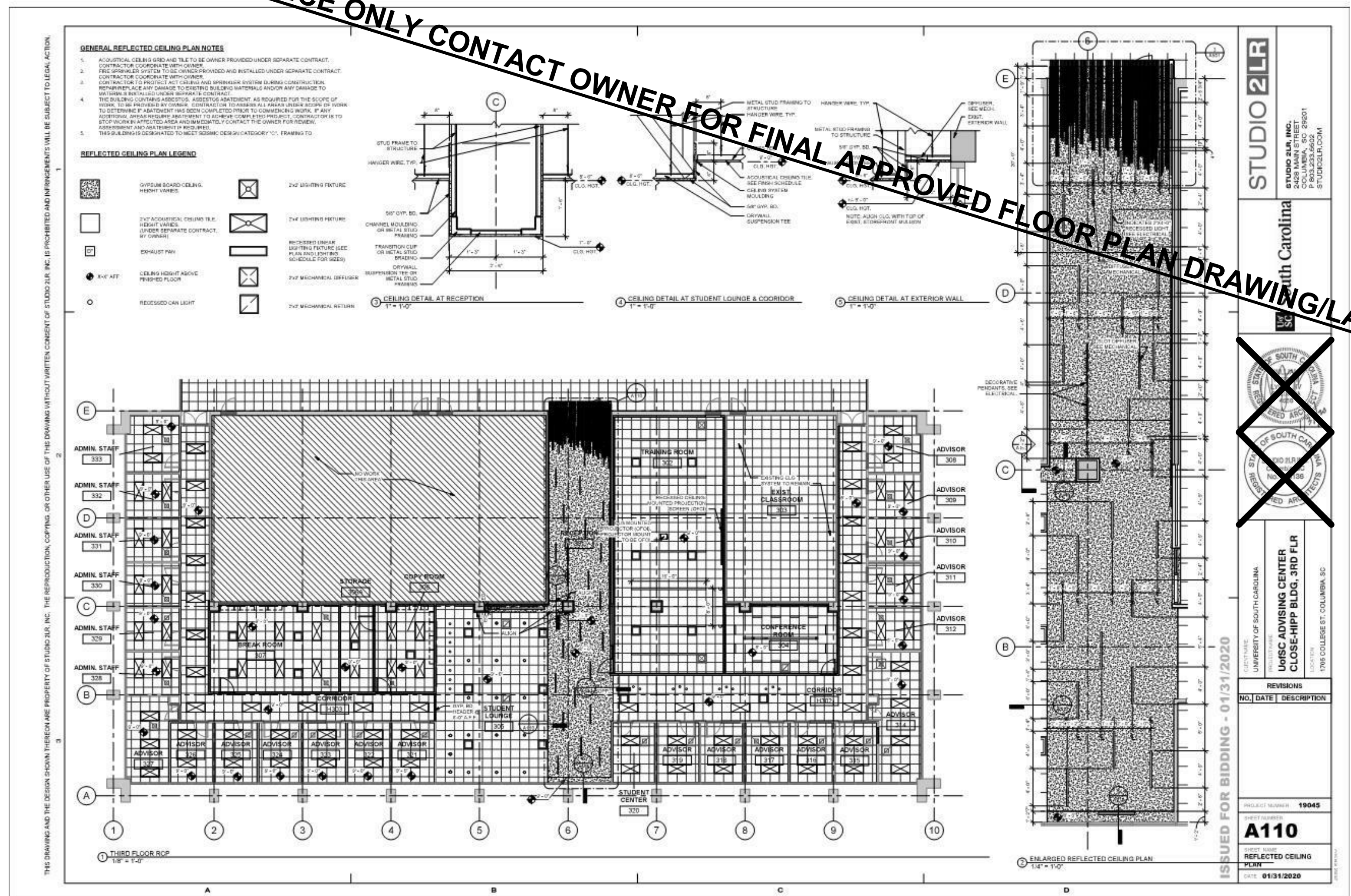
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DATE: 02/10/20
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3RD & 5TH FLOOR
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CEILING PLANS

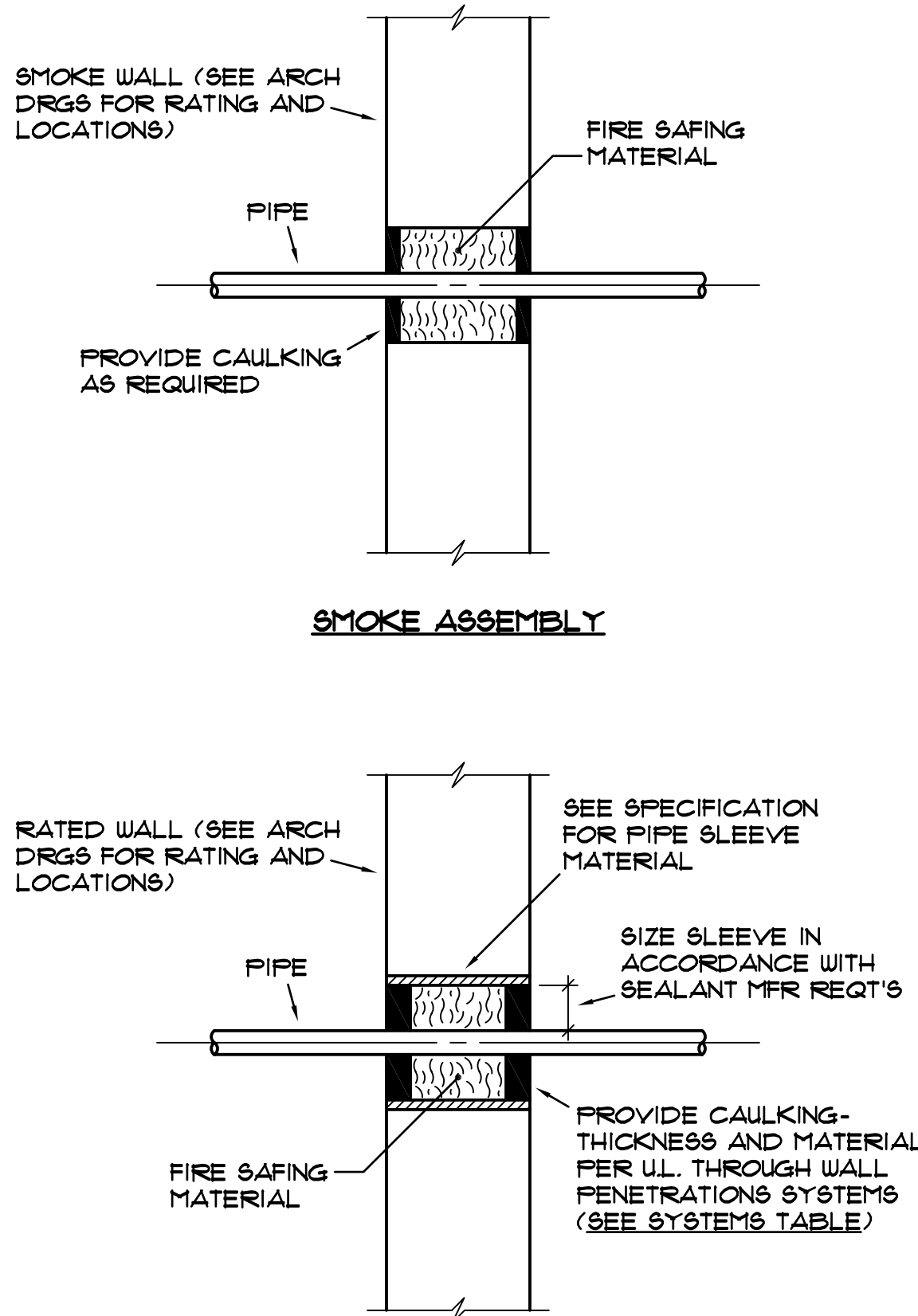
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BID DOCUMENTS

EXHIBIT 1: FOR REFERENCE ONLY CONTACT OWNER FOR FINAL APPROVED FLOOR PLAN DRAWING/LAYOUT.



WET PIPE SPRINKLER SYSTEM SPECIFICATIONS



SYSTEMS TABLE					
MFR	RATING	UL SYSTEM NO.		RATING	UL SYSTEM NO.
GE FENBIL 100/200/500	3 HR	CAJ1045, CAJ1046, CAJ1047	2 HR	CAJ1045, UL1045	
METACALK 835/860/950	3 HR	CAJ1131, CAJ1136, CAJ1047, CAJ1048, CAJ1049, CAJ1050, CAJ1051, CAJ1052, CAJ1053, CAJ1054, CAJ1055, CAJ1056, CAJ1057, CAJ1058, CAJ1059, CAJ1060	2 HR	UL1051, UL1052, UL1053, UL1054, UL1055, UL1056, UL1057, UL1058, UL1059, UL1060, CAJ1061	
HILTI C8240	3 HR	CAJ1031	2 HR	CAJ1130, CAJ1131, CAJ1134, UL1043, UL1044, UL1045, UL1046, UL1047, UL1048, UL1049, UL1050, UL1051	

RATED ASSEMBLY
PIPE THRU SMOKE/RATED ASSEMBLY DETAILS
NO SCALE

NOTES:
1. CONTRACTOR SHALL PROVIDE FLEXIBLE COUPLINGS ON BOTH SIDES OF SMOKE AND RATED WALL PENETRATIONS IN ACCORDANCE WITH NFPA-13, PARAGRAPH 9.3.4.
2. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS/DATA SHEETS FOR UL RATED PIPE PENETRATIONS FOR REVIEW. FAILURE TO COMPLY PRIOR TO INSTALLATION OF CAULKING MATERIALS SHALL REQUIRE THE REMOVAL AND REPLACEMENT OF MATERIALS WITH SPECIFIED PRODUCTS.

Fire Sprinkler System Specification Sheet
(Per 440-19-330)

Project name: USC Close-Hipp Bldg - Ceiling Installations 3rd and 5th Floors

Location in South Carolina: Address (street & & street name): 1705 College Street City: Columbia, S.C. 29201 State project: YES ☐ NO ☐ County: Richland State project #: H27-Z387

Water Supply Information
(Data not required for this project - see NFPA 13, 13.1.1.1.1)

Date test conducted: 08/02/17 (Fire pump) Static pressure (psi): 57 Residual pressure (psi): 53 Flow (gpm): 1355
test within a year - see drgs

Distances of test gauges relative to the base of the riser: Horizontal (ft): 450 Vertical (elevation difference in ft): (+16) ft

Source of water supply: ☒ Municipal, ☐ Fire Department, ☐ Other: Pipe Size (in.): 6"

Test data by/from: Name: Jason Shaw, PE Title: Water Engineer Organization: City of Columbia Telephone #: 843-545-3400

Fire pump: ☒ Yes ☐ No Pump Capacity (gpm): 1250 Churn Pressure (psi): 243
☐ New ☒ Existing Rated Pressure (psi): 155 Pressure @ 150% flow (psi): 101

On-site storage tank: ☐ Yes ☒ No ☐ New ☒ Existing Tank capacity (gallons):

NFPA Hazard Classification
(attach continuation page when necessary)

Area #	Class or Code Reference	Description of Hazard Protected (commodity description, storage height, and arrangement as applicable)
1	Light Hazard	Class Side areas where noted on drgs
2	Ordinary Group 1	Mechanical, Communication, Electrical Rooms

Design Parameters
(attach continuation page when necessary)

Area #	System Type	Density (gpm/ft ²) / Area (ft ²) or Other (reference code section)	Inside Hose (gpm)	Outside Hose (gpm)
1	Wet	0.15 / 1500 *	---	100
2	Wet	0.15 / 1500 *	---	250

Seismic Design Data: See 0.422

Codes and Standards
(attach continuation page when necessary)

Applicable Codes, Standards & Editions (i.e. "2006 IBC", "2007 NFPA 13", etc.) for the Scope of Work on the Sprinkler System
NFPA 13, 2013 Edition; NFPA 14, 2013 Edition; NFPA 20, 2013 Edition; International Existing Building Code, 2015 Edition; International Fire Code, 2015 Edition

Range: Reduction in system area of operation in accordance with NFPA 13, paragraph 11.2.3.2.3.1 is acceptable.
Scope of work (such as sprinkler system A.C. from 1" to 4" A.C. 1.5", from up to 5" outside, etc.) and notes (attach continuation page when necessary):
Aboveground fire protection service piping starting at existing piping capped at floor control valve assembly approximately where noted on drgs. (Close Side only)

Specifier's Information

Name: Danny Wilds, P.E. (Reg. No. 11155)
Engineering services provided through a firm: YES ☐ NO ☐
Firm name: Mechanical Design, Inc.
Address: 4403 Broad River Road
City: Columbia
State: SC Zip: 29210
Phone #: 803.731.9834 Fax #: 803.731.9837
E-mail: dana@mdid9834.com

Certificate of Authorization Professional Engineer's Seal

Revision No.: _____ Page _____ of _____ Signature: _____ Date: _____

1.1 RELATED DOCUMENTS:

- Refer to sprinkler drawings (Shts FP100 through FP300) for work and materials for this section of the specifications.
- Furnish products, materials and equipment as specified herein. Manufacturers and products or materials which are not indicated on drawings or specified will not be accepted.
- All work shall be accomplished by a Fire Sprinkler Contractor certified and licensed as a qualified Fire Protection Contractor regularly engaged in the design and installation of fire sprinkler systems under the Laws of the State of South Carolina.

1.2 SCOPE:

- All work and materials shall be in accordance with National Fire Protection Association NFPA 13-2013, (IBC) International Building Code - 2015, and all applicable codes and standards. Installation shall be in accordance with the requirements for Seismic of the (IBC) International Building Code.
- Sprinkler equipment and installation shall be in strict accordance with recommendations of the Insurance Underwriters for the project including the local authority having jurisdiction.
- Sprinkler System Design: Sprinkler system design shall be based on occupancy classifications for all areas of the building in accordance with NFPA 13 and as noted on drawings. See Fire Sprinkler System Specification Sheet, this sheet.
- Provide installation of approved wet pipe automatic fire protection sprinkler system. This work shall include the connection to the existing piping from the floor control valve approximately where indicated on drawings, the installation of all piping, sprinkler heads, materials and equipment for complete sprinkler system coverage for the 3rd and 5th floors as noted on sprinkler drawings. This shall include the following:
 - Preliminary Shop Drawings
 - Sprinkler Piping
 - Sprinkler Heads
 - Valves and Accessories
 - Pipe Sleeves and Supports
 - Seismic Materials and Products
 - Pipe Caulking
 - Submittals
 - Tests Including Materials and Test Certificates
- Fees for construction permits shall be included.
- FIRE FLOW TEST DATA: Contractor shall obtain current fire flow test data and field verify existing conditions prior to the design of sprinkler systems and submission of drgs and calculations to Engineer's Office for review.
- Wiring for sprinkler system alarm and trouble devices shall be furnished under Division 26 of these specifications. Coordinate electrical voltages and requirements with electrical prior to ordering any equipment to prevent conflicts.

1.3 SHOP DRAWINGS:

- Contractor shall prepare preliminary shop drawings of the installation and shall submit (1) printed set of drawings with calculations and product data sheets to the Architect for preliminary review by the Engineer in accordance with plans and specifications. The preliminary shop drawings shall be furnished as soon as possible after award of contract as required to expedite the review process. Refer to (IBC) International Building Code Section 106 para. 106.1.1.1 for shop drawing review requirements. Shop drawing review is required prior to start of system installation.
- Contractor shall include the revised Data Sheet as required by the State Fire Marshal's office for Engineer use and verification with preliminary shop drawings and calculations.
- Contractor shall include in his bid a design review meeting with the Engineer to review and coordinate shop drawing comments before delivery of shop drawings to the State Fire Marshal for final review. This meeting shall be scheduled at the Engineer's office in Columbia. After attending this Engineer review meeting contractor shall revise preliminary shop drawings and calculations as required to comply with all preliminary review comments.
- Furnish (1) set of revised drawings and calculations to the Engineer for final review once all preliminary comments have been addressed and revisions completed. Indicate revision number and date on revised shop drawings prior to submitting project to Engineer. Engineer will furnish updated Data Sheet and Certificate of Compliance for contractor's submission of shop drawings to the State Fire Marshal's office.

- Contractor shall submit revised shop drawings, updated Data Sheet and Certificate of Compliance to the State Fire Marshal's office for review.
- Data Sheet and Certificate of Compliance shall have Engineer stamp and signature including revised drawings noted on Certificate of Compliance prior to submission to State Fire Marshal.
- Contractor shall make all changes necessary for obtaining final approval from the State Fire Marshal prior to start of construction.

- Review of contractor's drawings shall not relieve him from the responsibility for errors, omissions or deviations from plans and specifications, unless the contractor has called the Owner's attention to such deviations in writing at time of submittal.

1.4 SPRINKLER PIPING:

- Piping for sprinkler system shall be UL listed metallic pipe and fittings and in accordance with NFPA 13.
 - Piping 2" and smaller shall be minimum sch 40 black steel, rolled-groove or threaded.
 - Piping 2-1/2" and larger shall be minimum sch 10 black steel, rolled-groove.
- All sprinkler system piping and materials shall be run concealed above ceilings where possible. Coordinate all finishes and space requirements with existing conditions, architectural drawings and specifications as required prior to installation.
 - Review of shop drawings for sprinkler systems will require coordination of locations of piping and sprinkler heads as required to maintain a concealed system whenever possible.
- Piping shall meet the requirements of NFPA 13, Chapter 6, para. 6.3.8 specifically for Identification of Pipe. Piping which does not meet this requirement will not be permitted for use.
- Maintain flexible couplings on both sides of rated wall penetrations. Flexible couplings shall meet requirements for seismic at all rated penetrations.

1.5 VALVES AND ACCESSORIES:

- Valves for sprinkler system if required shall be in accordance with NFPA 13, 3-14.
- Identification of valves shall be in accordance with NFPA and shall be by approved nametags indicating system type, design conditions, and valve function/operation.
Example: Drain

1.6 SPRINKLER HEADS:

- Sprinkler heads for Light Hazard areas shall be fully recessed, concealed pendent sprinkler heads for installation in finished ceilings for all areas/ceilings of the project.
 - Provide flush mounted white cover plates for all concealed sprinkler heads. "Domed" sprinkler head cover plates will not be accepted.
 - Refer to drgs for location of colored cover plates as applicable.
- Sprinkler heads for Ordinary Group 1 coverages shall be brass upright heads.
- Coordinate all finishes with architectural drawings and specifications as required.
- Sprinkler heads shall be UL/FM approved for intended service. Sprinkler heads as manufactured by Reliable, Star, Victaulic, Gem or Viking Sprinkler Corporation will be accepted.
 - Extended 2-piece pot metal escutcheons will not be permitted for sprinkler heads.
 - Sprinkler types and coverage (hazard classifications) shall be as required by NFPA 13 and as indicated on drawings.
 - Provide flush mounted seismic plates for sprinkler heads as required. Seismic plates shall be white.
 - Contractor shall center sprinkler heads in ceiling tiles.
 - Provide brass upright sprinkler heads for all areas where sprinkler system installation is exposed.
 - Provide sprinkler guards for all upright sprinkler heads located below 9'-0" above finished floor.
 - Provide sprinkler guards for heads located overhead at mechanical chases.

1.7 PIPE SUPPORTS:

- Pipe supports shall be Factory Mutual approved for fire sprinkler systems and shall be in accordance with NFPA 13, Chapter 9. Provide additional brackets, angles and bracing as may be required to install piping per NFPA standards.
- See para. 1.11 of these specifications for seismic requirements and calculations.

1.8 PIPE SLEEVES AND ESCUTCHEONS:

- Provide pipe penetrations as required to meet seismic.
 - Contractor shall fill the space between the pipe and the pipe sleeve by tightly packing with rock wool to maintain a positive smoke seal for entire penetration.
 - Maintain openings in all walls as required to meet seismic penetration guidelines.
- Where pipes pass through fire-rated walls or floors, the space between the pipe and the pipe sleeve shall be filled with a UL rated through wall penetration system fire proofing material. Install in accordance with the manufacturer's specific instructions.
 - See detail on drawings for applicable UL penetration assemblies.
 - Maintain flexible couplings on both sides of wall penetrations. Flexible couplings shall meet requirements for seismic at all rated penetrations.
- U.L. caulking materials as manufactured by MetaCaulk, Hilti or 3M Products will be accepted.

1.9 SPRINKLER SYSTEMS CHART:

- Provide system chart mounted on wall at control valve to identify system areas and functions. Chart shall be mounted in frame and furnished with clear plexi-glass cover.
- Chart shall be of size as required to clearly identify each system coverage area including all components and shall be color coded as directed by local fire code official.

1.10 SUBMITTALS:

- Submit detailed shop drawings, equipment and material cut sheets, and product data for all items.
 - All product data shall be submitted at one time in complete detail. Partial submission will not be accepted.
 - Contractor shall submit seismic design calculations complete with shop drawings and materials for engineer review in accordance with applicable State Fire Marshal and NFPA 13 requirements.
- Submit data sheets for the following items with shop drawings for preliminary review:
 - Sprinkler Piping
 - Sprinkler Heads
 - Valves (if applicable)
 - Seismic Plates (if applicable)
 - Preliminary Shop Drawings
 - Calculations (including data sheets with current information)
 - Seismic Calculations

1.11 SEISMIC RESTRAINT OF PIPING:

- Seismically restrain all piping in accordance with NFPA 13 for requirements for Seismic of the (IBC) International Building Code.
- Indicate locations for all seismic restraining devices on sprinkler shop drawings as required to meet State Fire Marshal review requirements.
- Provide seismic calculations on sprinkler shop drawings as required to meet State Fire Marshal review requirements.

1.12 CERTIFICATES OF APPROVAL:

- Upon completion of all work, furnish the owner a Certificate of Approval from the local fire department and the State Fire Marshal's Office, including materials and properly witnessed test certifications.

FIRE PROTECTION NOTES

- DO NOT SCALE DRAWINGS. ROUGH FROM ARCHITECTURAL AND EQUIPMENT MANUFACTURER'S DRAWINGS. COORDINATE CEILING FINISHES AND HEIGHTS AS APPLICABLE.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH NFPA-13, NFPA-14 AND NFPA 20, 2013 EDITIONS AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- COORDINATE SPRINKLER SYSTEMS WITH ALL TRADES TO AVOID INTERFERENCE AND CONFLICTS PRIOR TO INSTALLATION OF PIPING, VALVES AND EQUIPMENT.
- LOCATE VALVES TO PERMIT EASY ACCESS AND IN ACCORDANCE WITH NFPA-13.
- WHENEVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN FURNISH AND INSTALL COMPLETE AND READY FOR USE.
- UNLESS OTHERWISE SHOWN OR NOTED, ALL PIPING SHALL BE RUN CONCEALED IN WALLS, SOFFITS, FURRINGS, CHASES AND/OR ABOVE CEILINGS.
- PROVIDE SPRINKLER COVERAGE THROUGHOUT THIRD AND FIFTH FLOORS WHERE IDENTIFIED ON DRAWINGS IN ACCORDANCE WITH NFPA-13 AND SPECIFICATIONS.
- SIZE SPRINKLER PIPING IN ACCORDANCE WITH CURRENT FIRE FLOW DESIGN AND NFPA-13.
- SEE PIPE THRU SMOKE/RATED ASSEMBLY DETAIL, THIS SHEET, FOR ALL PENETRATIONS AS APPLICABLE.
- CONTRACTOR IS REQUIRED TO COORDINATE LOCATIONS AND CLEARANCE REQUIREMENTS FOR ALL COMPONENTS, EQUIPMENT AND PIPING SYSTEMS WITH EXIST CONDITIONS AND ALL TRADES BEFORE INSTALLATION TO PREVENT CONFLICTS.
- A PRESSURE REDUCING VALVE IS INSTALLED DOWNSTREAM OF THE FIRE PUMP TO MAINTAIN PRESSURES LESS THAN 175 PSI.

ASBESTOS NOTES

- SPRINKLER CONTRACTOR IS TO BE AWARE THAT EXISTING DRYWALL AND CEILING SYSTEMS LOCATED THROUGHOUT THIS STRUCTURE ARE ASBESTOS CONTAINING MATERIALS (ACM).
- ONLY PERSONNEL LICENSED AND CERTIFIED TO WORK WITH ACM SHALL DISTURB EXISTING DRYWALL, WALL AND CEILING SYSTEMS. CONTRACTOR IS TO COORDINATE WITH THE GC AND THE ABATEMENT CONTRACTOR PRIOR TO ALL RENOVATIONS AND DEMOLITION ACTIVITIES THAT WILL IMPACT THE EXISTING DRYWALL IN THE BUILDING.
- ALL PENETRATIONS AND ATTACHMENTS TO EXISTING DRYWALL AND CORE DRILLING OF EXISTING CONCRETE WALLS SHALL BE COORDINATED WITH AND PERFORMED BY THE ABATEMENT CONTRACTOR THROUGHOUT ALL PHASES OF THE PROJECT, TO INCLUDE INSTALLATION OF SPRINKLER SYSTEMS.
- CONTRACTOR SHALL INCLUDE IN HIS BASE BID THE COSTS ASSOCIATED WITH THE COORDINATION AND SEQUENCING OF THESE TASKS.

FLOOR SLAB NOTES

- SPRINKLER CONTRACTOR IS TO BE AWARE THAT THE EXISTING CONCRETE SLABS FOR THE CLOSE SIDE OF THE BUILDING UTILIZE CONCRETE BULB TEES.
- EXISTING STRUCTURAL DRGS ARE AVAILABLE UPON REQUEST, HOWEVER, THE AS-BUILT ACCURACY OF THESE DRGS IS UNKNOWN AND THE EXACT LOCATIONS OF THE CONCRETE BULB TEES ARE NOT KNOWN.
- EXISTING CONCRETE SLABS SHALL BE X-RAYED TO LOCATE BULB TEES BEFORE CORE-DRILLING TO COORDINATE AVOIDING STEM AREAS.

WET PIPE SPRINKLER SYSTEM SYMBOLS

SYMBOL	DESCRIPTION
--- ES ---	EXISTING SPRINKLER PIPING
— S —	SPRINKLER PIPING
⊕	CONNECT TO EXISTING

MECHANICAL DESIGN INC.

4403 Broad River Road
Columbia, S.C. 29210
(803) 731-9834
dana@mdid9834.com

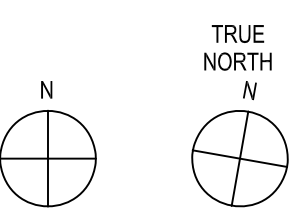
CONTACT: D. FULMER

COMM. NO. 203619

KEY PLAN

HIPP BLDG.

CLOSE BLDG.



FIRE FLOW TEST:
FIRE FLOW TEST WAS TAKEN ON AUGUST 2, 2017.
INFORMATION WAS FURNISHED BY JASON SHAW, P.E. - CITY OF COLUMBIA. FLOW RESULTS ARE AS FOLLOWS:
STATIC - 57 PSI
RESIDUAL - 53 PSI
FLOW - 1355 GPM

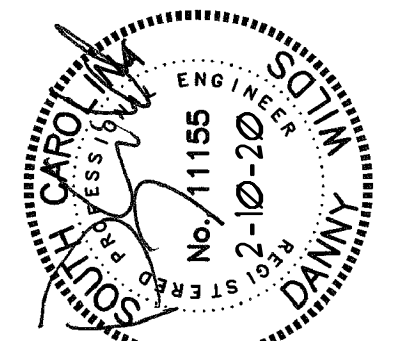


USC CLOSE-HIPP
BLDG: GRID
CEILING
INSTALLATION
3rd & 5th FLOORS

50003342-3
H27-Z387

LS3P

LS3P ASSOCIATES LTD.
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TEL. 803.765.2418 FAX. 803.765.2419
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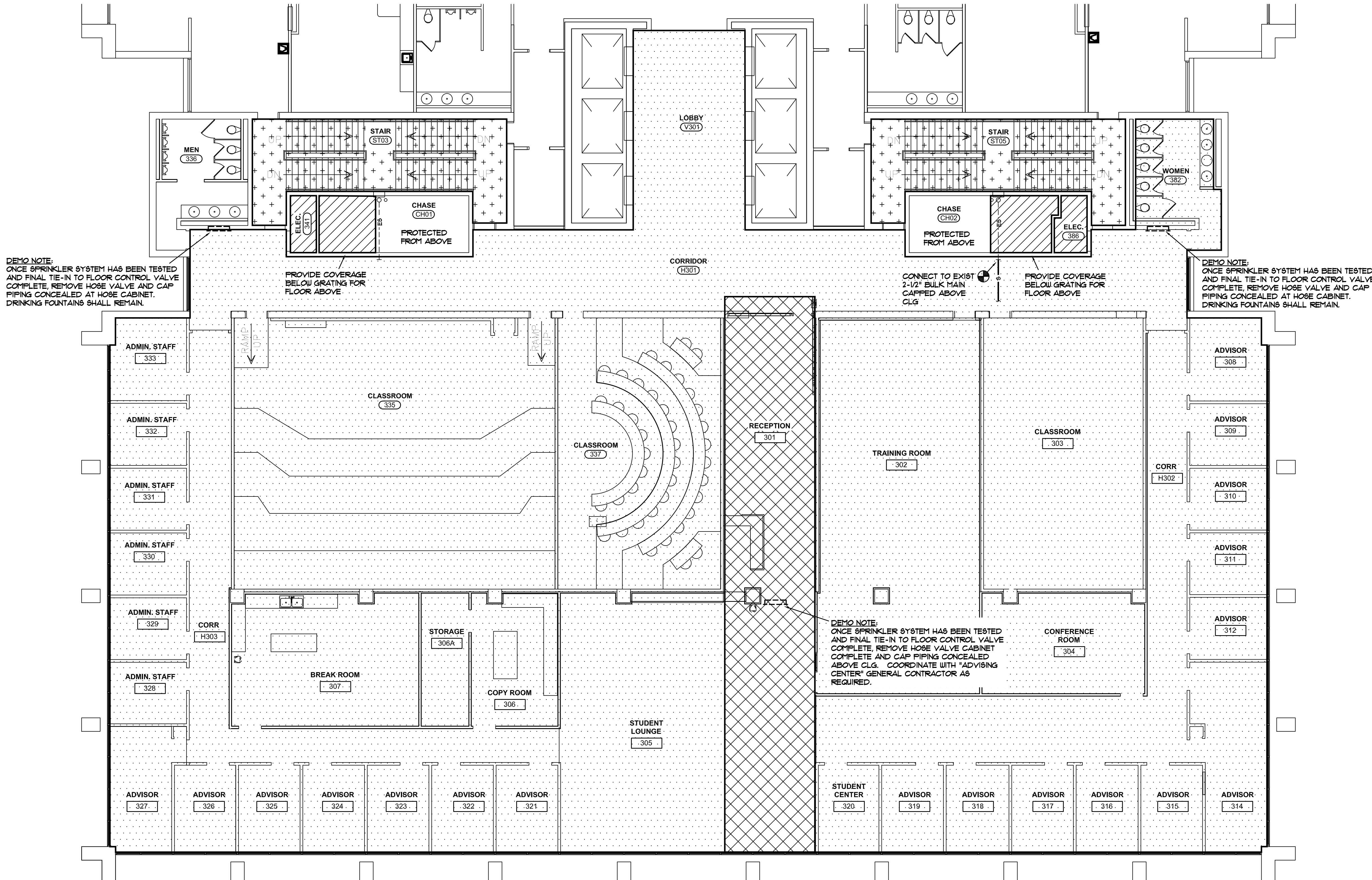
REVISIONS:

No.	Description	Date

PROJECT: 2202-193400
DATE: 02/07/20
DRAWN BY: Fulmer
CHECKED BY: Fulmer

FIRE PROTECTION
SPECIFICATIONS,
NOTES, DETAILS
AND SCHEDS

FP100



FIRE PROTECTION THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

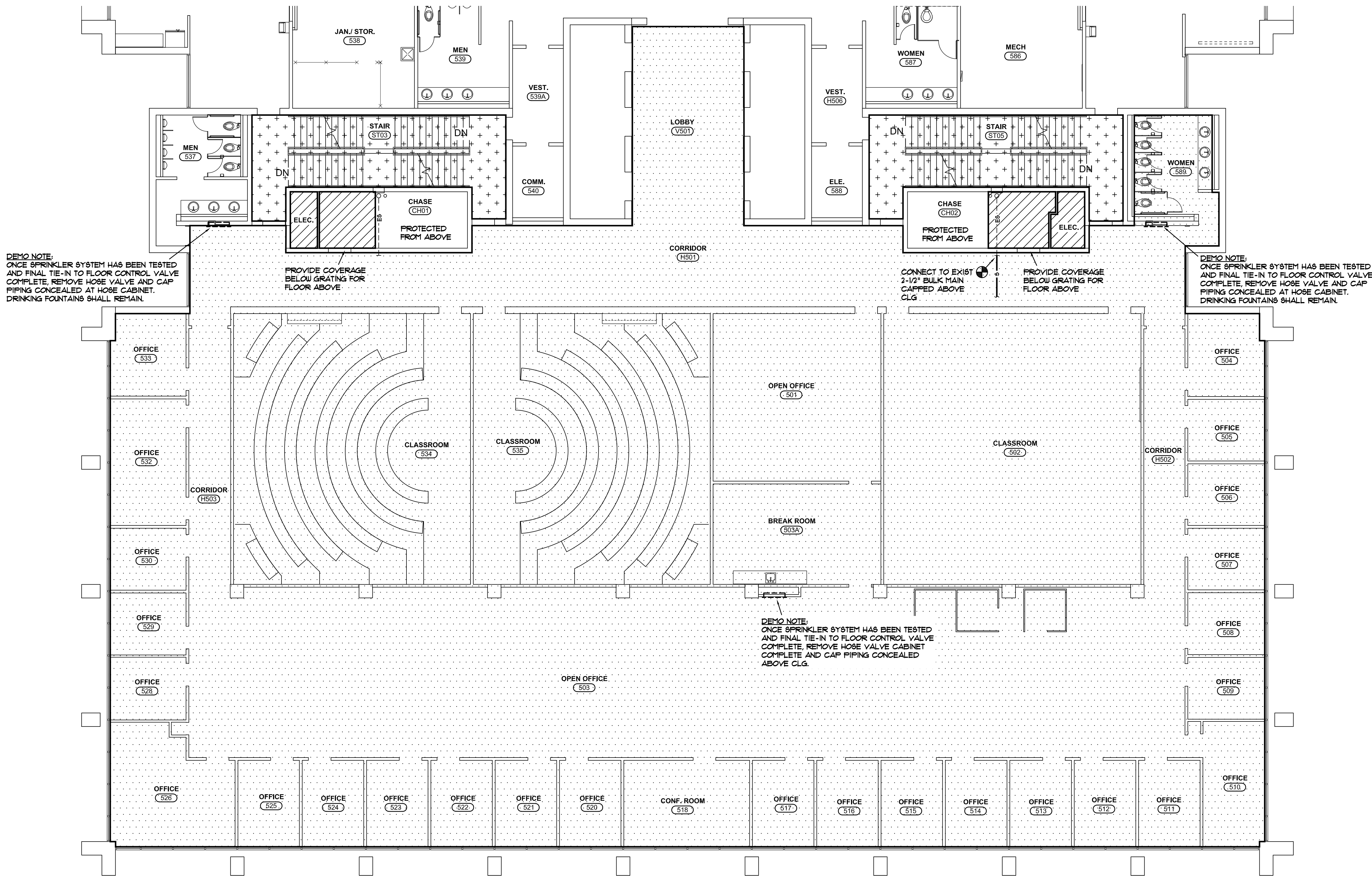
TENTATIVE SPRINKLER PHASING / CEILING NOTES - THIRD FLR

THE PHASING AND CEILING NOTES BELOW WERE DEVELOPED BY THE OWNER IN AN ATTEMPT TO HELP CLARIFY PHASING FOR THIS PROJECT. ALL DATES AND TIMES SHALL BE CLOSELY COORDINATED WITH THE OWNER AND THE GENERAL CONTRACTOR TO PREVENT CONFLICTS DURING CONSTRUCTION. THIS PROJECT WILL RUN CONCURRENTLY WITH THE "ADVISING CENTER" PROJECT WHICH IS BEING BID SEPARATELY AND MAY HAVE A DIFFERENT GENERAL CONTRACTOR.

WHERE NOTED BELOW FOR THE CEILING TILES TO BE REMOVED BUT THE CEILING GRID TO REMAIN IN PLACE, THE GENERAL CONTRACTOR MAY REMOVE AND REINSTALL CEILING GRID AS REQUIRED FOR THE INSTALLATION OF SPRINKLER PIPING. COORDINATE WITH THE GENERAL CONTRACTOR AS REQUIRED.

- EXISTING CEILING TILE AND GRID HAVE ALREADY BEEN REMOVED SOUTH OF CORRIDOR H301 EXCEPT IN ROOMS 302, 303, 335 AND 337.
- ROOM 303 WILL BE OCCUPIED DURING A PORTION OF THE SPRING SEMESTER WHICH OCCURS BETWEEN JAN. 11 AND MAY 8TH. CONTRACTORS WILL BE GIVEN ACCESS TO THIS ROOM AS SOON AS POSSIBLE. COORDINATE SCHEDULE WITH G.C. AND OWNER AS APPLICABLE. THE CEILING TILES WILL BE REMOVED BUT NOT THE CEILING GRID IN THIS CLASSROOM.
- ROOMS 302, 335 AND 337 WILL BE OCCUPIED DURING THE ENTIRE SPRING SEMESTER (JAN. 13TH - MAY 6TH). SPRINKLER WORK IN THESE AREAS ALONG WITH WORK IN THE CORRIDOR, ELEVATOR, LOBBY, CHASES, STAIRWELLS AND WOMENS RESTROOM CANNOT OCCUR UNTIL AFTER MAY 6TH. THE CEILING TILES IN THESE AREAS WILL BE REMOVED BUT THE CEILING GRID WILL REMAIN. AFTER MAY 6TH UNTIL THE DURATION OF THIS PROJECT, CLASSES WILL BE ONGOING ON THE FLOORS ABOVE AND BELOW THESE AREAS ALONG WITH THE ENTIRE HIPP SIDE OF THE BUILDING. ANY NOISE, VIBRATION OR SMELL RELATED ACTIVITIES WHICH MAY DISTURB OCCUPANTS WILL NOT BE ALLOWED EXCEPT AFTER 9 PM AND BEFORE 8 AM DAILY OR ON WEEKENDS.
- REFER TO FLOOR PLAN FOR LOCATION OF HOSE VALVE CABINETS AND APPLICABLE NOTES. ALL WORK RELATED TO THE HOSE CABINETS SHALL OCCUR AFTER SPRINKLER SYSTEM IS BROUGHT ONLINE (SEE NOTE-5 BELOW).
- SUBSTANTIAL COMPLETION FOR 302, 304, H302 AND H303 SHALL BE JUNE 30, 2020. ALL OTHER AREAS OF THIS FLOOR SHALL BE SUBSTANTIALLY COMPLETE BY JULY 12, 2020. ALL WORK SHALL BE COMPLETE AND TESTED INCLUDING REMOVAL OF FIRE HOSE CABINETS AND ASSOCIATED PIPING BY JULY 10, 2020.
- REFER TO ARCHITECTURAL DRGS FOR CEILING GRID LAYOUT AS APPLICABLE.

E
D
C
B
A



FIRE PROTECTION FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

TENTATIVE SPRINKLER PHASING / CEILING NOTES - FIFTH FLR

THE PHASING AND CEILING NOTES BELOW WERE DEVELOPED BY THE OWNER IN AN ATTEMPT TO HELP CLARIFY PHASING FOR THIS PROJECT. ALL DATES AND TIMES SHALL BE CLOSELY COORDINATED WITH THE OWNER AND THE GENERAL CONTRACTOR TO PREVENT CONFLICTS DURING CONSTRUCTION.

WHERE NOTED BELOW FOR THE CEILING TILES TO BE REMOVED BUT THE CEILING GRID TO REMAIN IN PLACE, THE GENERAL CONTRACTOR MAY REMOVE AND REINSTALL CEILING GRID AS REQUIRED FOR THE INSTALLATION OF SPRINKLER PIPING. COORDINATE WITH THE GENERAL CONTRACTOR AS REQUIRED.

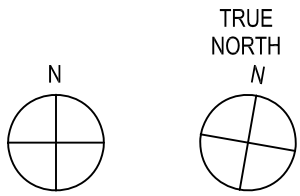
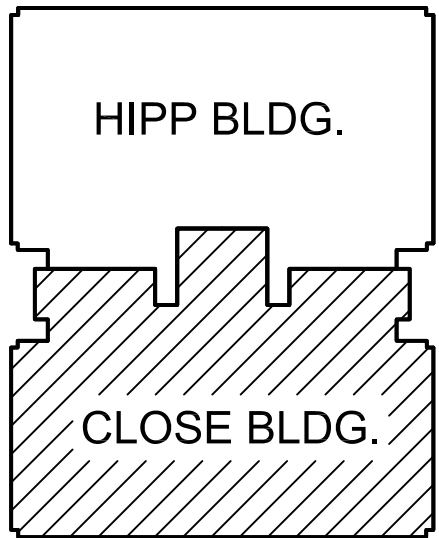
- EXISTING CEILING TILE AND GRID IS SCHEDULED TO BE REMOVED PRIOR TO THE START OF THIS PROJECT IN ALL ROOMS SOUTH OF CORRIDOR H501 EXCEPT IN ROOMS 502, 534 AND 535.
- ROOMS 502, 534 AND 535 WILL BE OCCUPIED DURING THE ENTIRE SPRING SEMESTER (JAN. 13TH - MAY 6TH). SPRINKLER WORK IN THESE AREAS ALONG WITH WORK IN THE CORRIDOR, ELEVATOR LOBBY, CHASES, STAIRWELLS AND WOMEN'S RESTROOM CANNOT OCCUR UNTIL AFTER MAY 6TH. THE CEILING TILES IN THESE AREAS WILL BE REMOVED BUT THE CEILING GRID WILL REMAIN. AFTER MAY 6TH UNTIL THE DURATION OF THIS PROJECT, CLASSES WILL BE ONGOING ON THE FLOORS ABOVE AND BELOW THESE AREAS ALONG WITH THE ENTIRE HIPP SIDE OF THE BUILDING. ANY NOISE, VIBRATION OR SMOKE RELATED ACTIVITIES WHICH MAY DISTURB OCCUPANTS WILL NOT BE ALLOWED EXCEPT AFTER 9 PM AND BEFORE 8 AM DAILY OR ON WEEKENDS.
- REFER TO FLOOR PLAN FOR LOCATION OF HOSE VALVE CABINETS AND APPLICABLE NOTES. ALL WORK RELATED TO THE HOSE CABINETS SHALL OCCUR AFTER SPRINKLER SYSTEM IS BROUGHT ONLINE.
- SUBSTANTIAL COMPLETION FOR 502, H502 AND H503 SHALL BE JUNE 12, 2020. ALL OTHER AREAS OF THIS PROJECT SHALL BE SUBSTANTIALLY COMPLETE MAY 29, 2020. ALL WORK SHALL BE COMPLETE AND TESTED INCLUDING REMOVAL OF FIRE HOSE CABINETS AND ASSOCIATED PIPING BY JUNE 30, 2020.
- REFER TO ARCHITECTURAL DRGS FOR CEILING GRID LAYOUT AS APPLICABLE.

SPRINKLER SYSTEM HATCH KEY	
SYMBOL	DESCRIPTION
[Pattern]	LIGHT HAZARD CONCEALED PENDENT HEADS
[Pattern]	LIGHT HAZARD UPRIGHT EXPOSED HEADS
[Pattern]	ORDINARY HAZARD GROUP I UPRIGHT EXPOSED HEADS

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4403 Broad River Road
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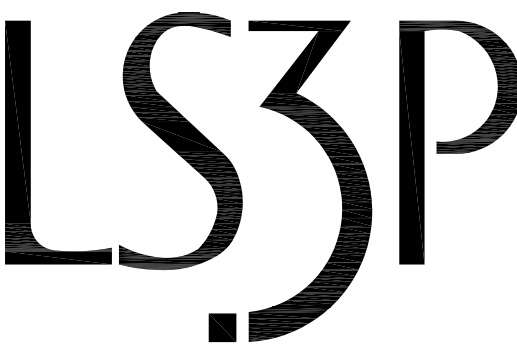
CONTACT: D. FULMER COMM. NO. 203619

KEY PLAN

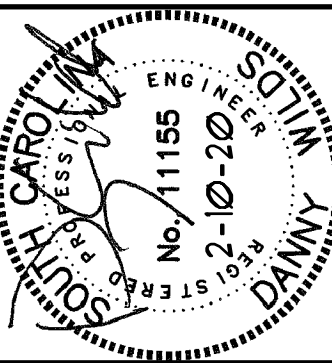


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REVISIONS:

No.	Description	Date

PROJECT: 2202-193400
DATE: 02/07/20
DRAWN BY: Fulmer
CHECKED BY: Fulmer

**FIRE
PROTECTION
FIFTH FLOOR
PLAN**

FP300